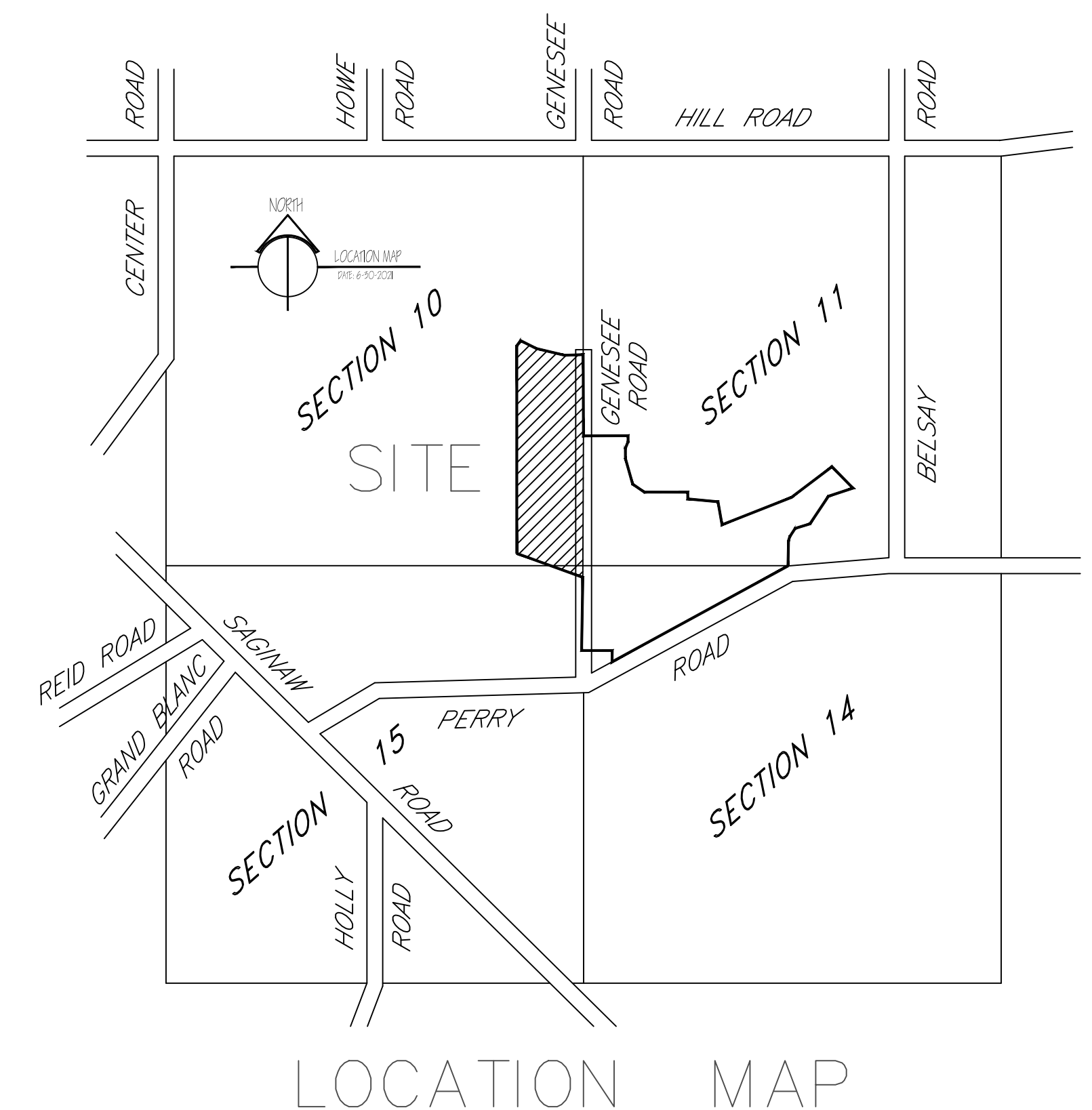


QUEEN'S MEADOWS SITE CONDOMINIUM CITY OF GRAND BLANC GENESEE COUNTY SECS 10, 15, T6N, R7E

**FOR:
MIKE DE MIL
48991 JEFFERSON
CHESTERFIELD, Michigan 48047
(586)980-2079**



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- SHEET 6 - SOIL EROSION CONTROL PLAN
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- SHEET 9 - ROAD PLAN/PROFILE STA = 00+00.00 TO 13+50.00
- SHEET 10 - ROAD PLAN/PROFILE STA = 13+50.00 TO 27+50.00
- SHEET 11 - SANITARY PLAN/PROFILE STA 00+00.00 TO 13+15.00
- SHEET 12 - SANITARY PLAN/PROFILE STA 13+50.00 TO 26+00.00
- SHEET 13 - WATER PLAN/PROFILE STA 00+00.00 TO 15+50.00
- SHEET 14 - WATER PLAN PROFILE STA 15+50.00 TO 30+50.00
- SHEET 15 - DRAINAGE DISTRICT/GRADING PLAN
- SHEET 16- SOUTH STORM WATER PLAN
- SHEET 17- NORTH STORM WATER PLAN
- SHEET 18- STORM PLAN/PROFILE STA 00+00.00 TO 12+50.00
- SHEET 19- STORM PLAN/PROFILE STA 12+50.00 TO 24+50.00
- SHEET 20- STORM PROFILE
- SHEET 21 - STORM CALCS
- SHEET 22- SOUTH LANDSCAPING PLAN
- SHEET 23 - NORTH LANDSCAPING PLAN
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- SHEET 25 - SANITARY DETAIL SHEETS
- SHEET 26 - GDCDC STANDARD NOTES
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LEGAL DESCRIPTION:

PROPOSED REMAINDER PARCEL C (PER LIBER 2524, P. 749-751)

PART OF THE EAST 1/2 OF SECTION 10, T6N-R7E, CITY OF GRAND BLANC AND TOWNSHIP OF GRAND BLANC, AND PART OF THE EAST 1/2 OF SECTION 15, T6N-R7E, CITY OF GRAND BLANC, GENESEE COUNTY, MICHIGAN, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE EAST LINE OF SAID SECTION 10, WHICH IS S 01°09'53" E 470.04 FEET (MEASURED 496.57 FEET) FROM THE EAST 1/4 CORNER OF SECTION 10, SAID POINT OF BEGINNING ALSO BEING ON THE WEST LINE OF THE HILLS OF KINGS POINTE NO. 16, RECORDED IN LIBER 64, PAGES 20 AND 21, GENESEE COUNTY, MICHIGAN RECORDS; THENCE CONTINUING S 01°09'53" E, ALONG THE EAST LINE OF SAID SECTION 10 AND THE WEST LINE OF SAID PLAT AND THE WEST LINE OF THE HILLS OF KINGS POINTE NO. 15, RECORDED IN LIBER 64, PAGES 14 AND 15, GENESEE COUNTY, MICHIGAN RECORDS, AND PLAT LINES EXTENDED, A DISTANCE OF 2142.17 FEET TO THE SOUTHEAST CORNER OF SAID SECTION 10; THENCE S 00°02'02" E, ALONG THE EAST LINE OF SECTION 15 (AS PREVIOUSLY SURVEYED), A DISTANCE OF 675.00 FEET; THENCE N 71°03'03" W 888.28 FEET; THENCE N 00°59'28" W 2626.29 FEET; THENCE N 34°54'38" E 81.17 FEET; THENCE S 64°14'44" E 222.91 FEET; THENCE S 77°32'27" E 367.82 FEET; THENCE N 87°04'25" E 235.55 FEET TO THE PLACE OF BEGINNING, EXCEPT THE EAST 40.0 FEET, IN EVEN WIDTH, CONTAINING 50.01 NET ACRES OF LAND, MORE OR LESS, TOGETHER WITH A 25 FOOT WIDE STORM SEWER EASEMENT DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHEAST CORNER OF SECTION 15, T6N-R7E, CITY OF GRAND BLANC, GENESEE COUNTY, MICHIGAN; THENCE S 00°02'02" E, ALONG THE EAST LINE OF SAID SECTION (AS PREVIOUSLY SURVEYED), A DISTANCE OF 675.00 FEET AND N 71°03'03" W 42.3 FEET TO THE PLACE OF BEGINNING OF THIS EASEMENT; THENCE S 00°02'02" E, ALONG THE WEST RIGHT-OF-WAY LINE OF GENESEE ROAD, 551.44 FEET; THENCE S 89°57'58" W 20.0 FEET; THENCE ON A CURVE TO THE RIGHT, HAVING A RADIUS OF 240.00 FEET WITH A CHORD BEARING AND DISTANCE OF S 19°43'12" W 163.0 FEET, MORE OR LESS, TO THE CENTER LINE OF THREAD RIVER; THENCE N 70 16'48" W, ALONG SAID CENTER LINE, 25.0 FEET; THENCE N 19°43'12" E 217.75 FEET; THENCE N 00°02'02" W, PARALLEL TO AND 25 FEET WEST OF SAID WEST RIGHT-OF-WAY LINE FOR GENESEE ROAD, A DISTANCE OF 500.0 FEET; THENCE S 71°03'03" E 26.44 FEET TO THE PLACE OF BEGINNING.

AGENCY CONTACT INFORMATION

AGENCY	SUBMITTAL DATE	STATUS
WENDY JEAN-BUHRER CITY MANAGER CITY OF GRAND BLANC 203 E. GRAND BLANC RD. GRAND BLANC, MICHIGAN 48439 PH: 810-694-1118	04-03-2023	UNDER REVIEW
PUBLIC UTILITIES GDCDC-WWS LYNNETTE MEINZ, PE G-4610 BEECHER RD. FLINT, MICHIGAN 48532 PH: 810-732-7870	04-03-2023	UNDER REVIEW
STORM WATER GDCDC-SWM ENAYET ULLAH, PE G-4608 BEECHER RD. FLINT, MICHIGAN 48532 PH: 810-732-1590	04-03-2023	UNDER REVIEW
SOIL EROSION CONTROL GDCDC-WWS CLIFF WEBSTER G-4610 BEECHER RD. FLINT, MICHIGAN 48532 PH: 810-732-7870	04-03-2023	UNDER REVIEW
GAS & ELECTRIC CONSUMERS ENERGY PO BOX 408 FLINT, MICHIGAN 48501 PH: 810-257-3603	04-03-2023	UNDER REVIEW

UTILITY NOTE

THE UTILITY LOCATIONS AS HEREON SHOWN ARE BASED ON FIELD OBSERVATIONS AND A CAREFUL REVIEW OF MUNICIPAL AND UTILITY RECORDS. HOWEVER, IT IS NOT POSSIBLE TO DETERMINE THE PRECISE SIZE, LOCATION, DEPTH, PRESSURE, OR ANY OTHER CHARACTERISTICS OF UNDERGROUND UTILITIES, TANKS OR SEPTIC FIELDS WITHOUT EXCAVATION. THEREFORE, WE CANNOT GUARANTEE THE ACCURACY OF COMPLETENESS OF THE BURIED UTILITY INFORMATION HEREON SHOWN. THE CONTRACTOR SHALL CALL MISS DIG (1-800-482-7171) A MINIMUM OF THREE WORKING DAYS PRIOR TO ANY EXCAVATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THESE UTILITY LOCATIONS PRIOR TO CONSTRUCTION AND MAKE EVERY EFFORT TO PROTECT AND/OR RELOCATE THEM AS REQUIRED. THE CONTRACTOR SHALL NOTIFY THE ENGINEER/SURVEYOR AS SOON AS POSSIBLE IN THE EVENT A DISCREPANCY IS FOUND.

THE LOCATION OF ALL UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE BASED ON RECORDS PROVIDED BY THE UTILITY OWNERS AND VISIBLE EVIDENCE OBTAINED IN THE FIELD. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

PUBLIC UTILITY EASEMENT: ALL SANITARY SEWERS 8" OR LARGER IN DIAMETER AND ALL WATERMAINS 6" AND LARGER FOR THIS PROJECT ARE DESIGNED FOR AND WILL BECOME A PUBLIC SYSTEM UPON SATISFACTORY APPROVAL BY THE CITY OF GRAND BLANC.

EASEMENT STATEMENT: ALL PUBLIC SANITARY SEWERS AND WATERMAINS SHALL HAVE AN EASEMENT GRANTED TO THE CITY OF GRAND BLANC FOR MAINTENANCE, REPAIR, AND/OR REPLACEMENT FOR CONDOMINIUMS. THE EASEMENT SHALL BE RECORDED ON THE MASTER DEED DOCUMENT.

SURVEYOR: DELTA PROFESSIONAL SERVICES, INC.
3189 MANN ROAD
WATERFORD, MI 48329
810-701-9418



Melissa Lawrence
Professional Engineer

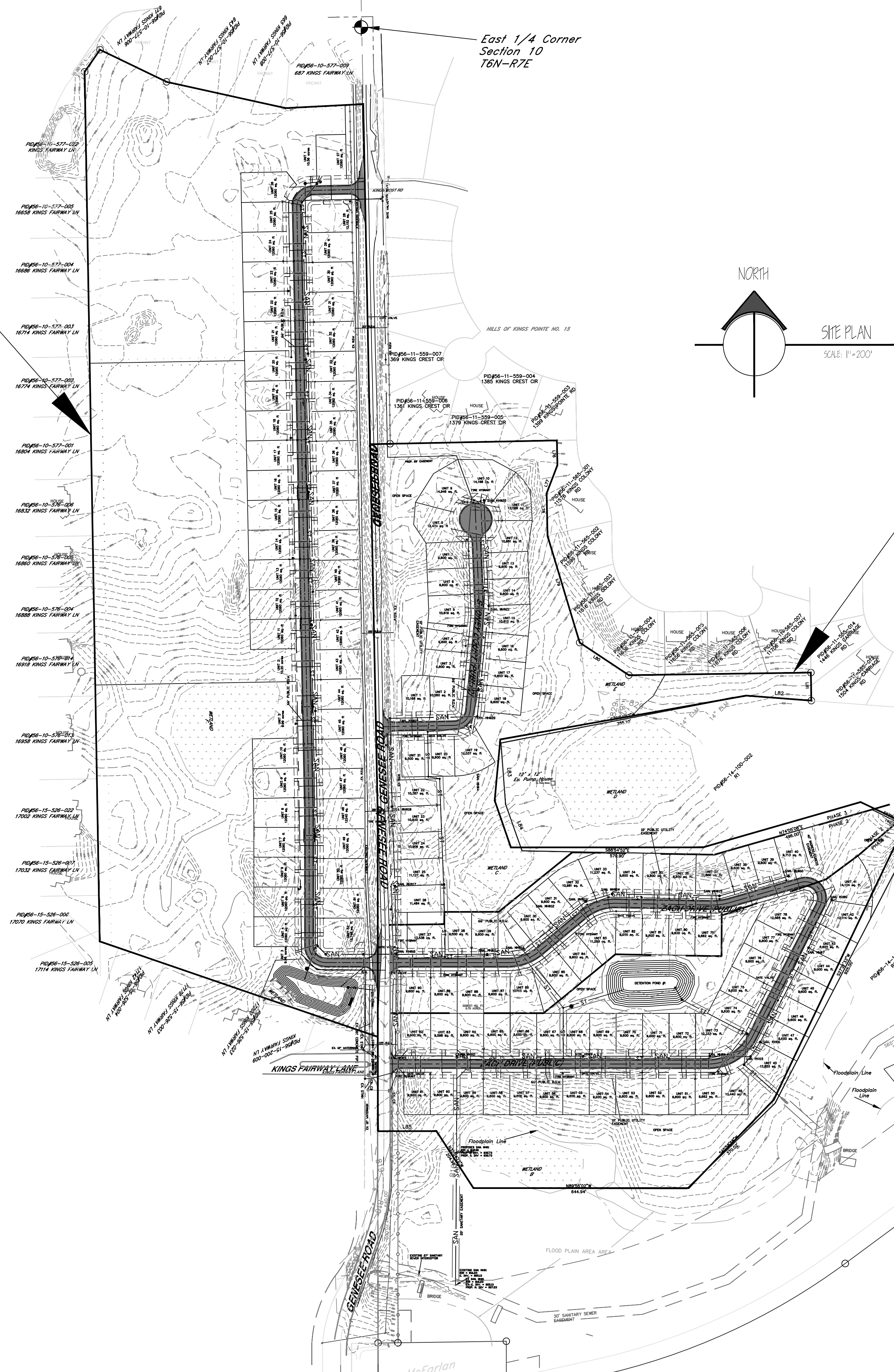


3 WORKING DAYS (72 HOURS)
BEFORE YOU DIG
CALL MISS DIG
1-800-482-7171
(TOLL-FREE) FOR THE LOCATION
OF UNDERGROUND UTILITIES



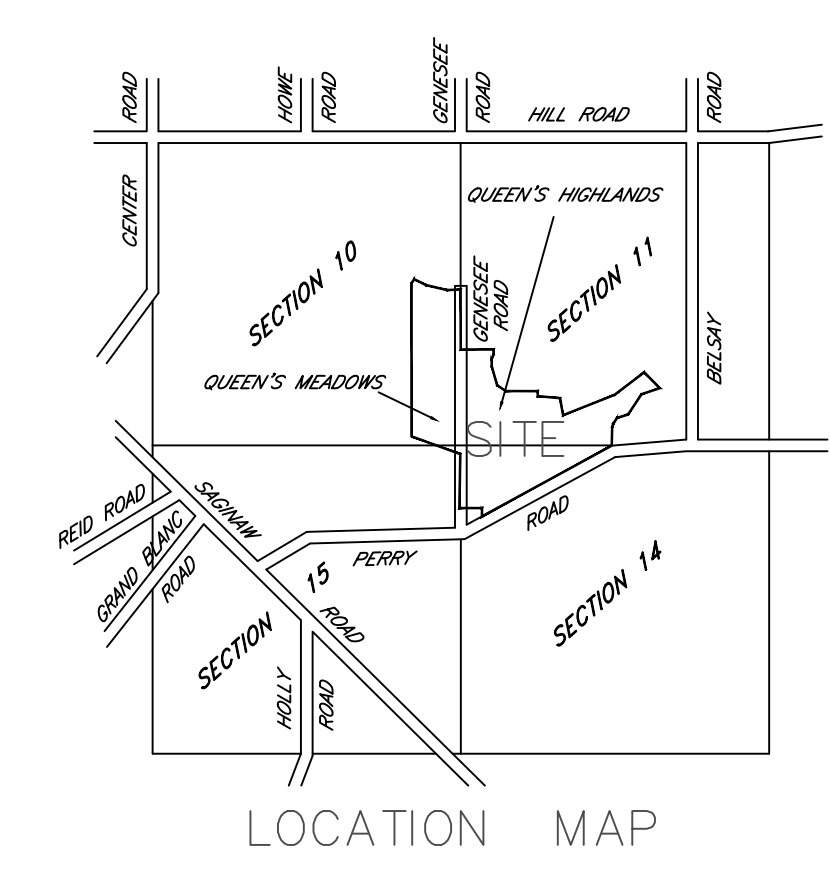
**LAWRENCE
ENGINEERING P.C.
CIVIL ENGINEERING**
4344 SILVER LAKE ROAD, LINDEN, MI 48451
P#(810)750-5280 EMAIL: 1996LEPC@GMAIL.COM

QUEEN'S MEADOWS
SITE CONDOMINIUM



SITE PLAN
SCALE: 1"=200'

QUEEN'S HIGHLANDS
PLANNED UNIT DEVELOPMENT



LOCATION MAP

HILLS OF KINGS POINTE NO. 7

Approximate Location
of THREAD CREEK

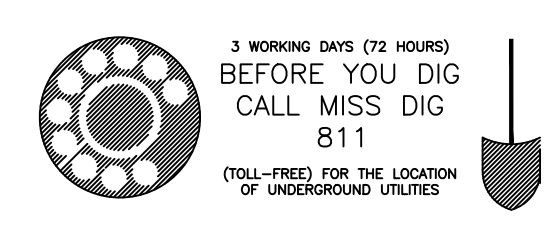
Consumers Easement
Liber 628, Pages 613-614

MINTERBROOK SUBDIVISION
Liber 23, Page 59

Perry Road
(100' WIDE PUBLIC ROAD RIGHT-OF-WAY)

LEGEND

- - - - - 844 - - - - - EXISTING CONTOUR LINE
- - - - - EXISTING STORM STRUCTURE
- - - - - EXISTING STORM WATER LINE
- - - - - PROPOSED STORM CATCH BASIN
- - - - - PROPOSED STORM MANHOLE
- - - - - PROPOSED STORM WATER LINE
- - - - - EXISTING SANITARY SEWER MANHOLE
- - - - - EXISTING 27" SANITARY SEWER INTERCEPTOR
- - - - - PROPOSED SANITARY SEWER MANHOLE
- - - - - PROPOSED 8" SANITARY SEWER
- - - - - EXISTING WATERMAIN
- - - - - EXISTING FIRE HYDRANT
- - - - - EXISTING WATERMAIN VALVE
- - - - - PROPOSED 8" WATERMAIN
- - - - - PROPOSED FIRE HYDRANT
- - - - - EXISTING TREE LINE
- - - - - EXISTING TREE



NO.	REVISION/ISSUE	DATE

SHEET TITLE:
OVERALL PLAN

PROJECT:
4344 SILVER LAKE
ROAD
LINDEN, MI 48451
OFFICE: (810)750-5280
EMAIL: 1996LEPC@GMAIL.COM

LAWRENCE ENGINEERING P.C.
ENGINEERING

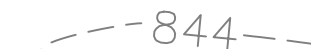

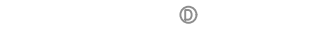








PROJECT:
QUEEN'S MEADOWS
MIKE DE MIL
48991 JEFFERSON
CHESTERFIELD, MI 48047
(586)980-2079

SHEET:
2022-001B
DATE:
4/3/2023
DRAWN BY:
BLB
CHECKED BY:
MML
1 OF 27

DEMOLITION NOTES:

- PRIOR TO THE BEGINNING OF ANY DEMOLITION WORK THE CONTRACTOR SHALL NOTIFY THE LOCAL GOVERNING AGENCY TO OBTAIN PERMIT. ALL DEMOLITION WORK SHALL CONFORM TO THE REQUIREMENTS OF THE LOCAL GOVERNING AGENCY. ALL DEMOLITION OPERATIONS SHALL COMPLY WITH MICHIGAN REGULATIONS.
- THE EXISTING UTILITIES SHOWN ON THIS PLAN ARE FROM AN ACTUAL TOPOGRAPHIC SURVEY PERFORMED BY DPS SURVEYING. THE UNDERGROUND UTILITIES SHOWN WERE EITHER VERIFIED BY THIS SURVEY OR WERE OBTAINED FROM THE BEST AVAILABLE DOCUMENT INFORMATION. NO GUARANTEE IS GIVEN TO THE ACCURACY OF ALL UTILITIES SHOWN OR THAT ALL UTILITIES ARE INDICATED ON THIS DOCUMENT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY ALL EXISTING UTILITY LOCATIONS AND ELEVATIONS BEFORE COMMENCING WORK OR NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
- THE CONTRACTOR MUST OBTAIN A SOIL EROSION CONTROL PERMIT AND INSTALL EROSION CONTROL MEASURES AS INDICATED ON THESE DOCUMENTS PRIOR TO BEGINNING OF DEMOLITION WORK. THESE CONTROL MEASURES SHALL CONFORM IN ALL RESPECT WITH THE EGE AND LOCAL GOVERNING AGENCY REQUIREMENTS. REFER TO SHEET 7 FOR INFORMATION.
- CONTACT "MUD DOC" AT (810) 3 WORKING DAYS PRIOR TO BEGINNING OF DEMOLITION WORK.
- CLEARING, CRIBBING, STUMP REMOVAL, TOPSOIL REMOVAL AND STOCKPILING SHALL BE IN ACCORDANCE WITH APPROPRIATE GOVERNING AGENCIES.
- CONTRACTORS MANNER AND METHOD OF INGRESS AND EGRESS WITH RESPECT TO THE PROJECT AREA SHALL IN NO WAY PROHIBIT OR DISTURB NORMAL PEDESTRIAN OR VEHICULAR TRAFFIC IN THE VICINITY AND IS SUBJECT TO REGULATIONS AND WRITTEN APPROVAL OF APPROPRIATE GOVERNING AGENCIES.
- PROVIDE ADEQUATE BARRICADES AT DRIVE, ENTRANCE, AND OTHER OPENINGS TO KEEP OUT UNAUTHORIZED PERSONS, FOR PUBLIC SAFETY, AND TRAFFIC CONTROL. BARRICADES SHALL BE PROVIDED IN ACCORDANCE WITH APPROPRIATE GOVERNING AGENCIES.
- NO ATTEMPT IS MADE TO STIPULATE EVERY REQUIRED ITEM OF DEMOLITION EITHER ON THE DRAWINGS AND/OR IN SPECIFICATIONS. CONTRACTOR MUST VISIT AND STUDY PHYSICAL CONDITIONS OF THE SITE REVIEW DRAWINGS AND REACH THEIR OWN CONCLUSIONS ON WORK NECESSARY TO ACCOMPLISH INTENDED RESULTS DESCRIBED BY DRAWINGS AND/OR SPECIFICATIONS.
- PROVIDE CONSTRUCTION FENCING AROUND DRIP LINE OF TREES TO REMAIN WITHIN CONSTRUCTION AREA.
- ALL DEMOLITION MATERIAL SHALL BE PROPERLY REMOVED FROM THE SITE AND DISPOSED OF IN A LEGALLY DESIGNATED DISPOSAL AREA. NO ON-SITE BURNING WILL BE ALLOWED. PERMITS AND FEES FOR DISPOSAL OF DEMOLITION MATERIAL SHALL BE OBTAINED AND PAID FOR BY THE CONTRACTOR.
- BACK FILL EXCAVATED AREAS WITH CLEAN GRANULAR FILL COMPACTED TO 95% OF THE MATERIAL UNIT WEIGHT BY MOISTURE PROCTOR IN ACCORDANCE WITH THESE DOCUMENTS AND/OR PROJECT SPECIFICATIONS.
- COMPLETELY RESTORED ALL DISTURBED AREAS TO A CONDITION EQUAL TO OR BETTER THAN EXISTING CONDITION AND TO THE SATISFACTION OF THE OWNER AND MUNICIPALITY. ALL COST FOR CLEAN-UP, RESTORATION WORK AND OTHER IMMEDIATE OPERATIONS SUCH AS, BUT NOT LIMITED TO, CONSTRUCTION SIGNAGE, STREET SWEEPING, AND MAINTAINING EXISTING UTILITIES SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- AT THE CONCLUSION OF THE DEMOLITION OPERATIONS, THE ENTIRE WORK AREA SHALL BE LEFT IN A CLEAN CONDITION AND ALL PROTECTIVE DEVICES AND BARRIERS SHALL BE REMOVED OFF-SITE.

LEGEND

-  EXISTING CONTOUR LINE
-  EXISTING STORM CATCH BASIN
-  EXISTING STORM STRUCTURE
-  EXISTING STORM WATER LINE
-  EXISTING SANITARY SEWER MANHOLE
-  EXISTING 27" SANITARY SEWER INTERCEPTOR
-  EXISTING WATERMAIN
-  EXISTING FIRE HYDRANT
-  EXISTING WATERMAIN VALVE
-  EXISTING TREE LINE
-  EXISTING TREE



Hydric Rating by Map Unit

Map unit symbol	Soil unit name	Rating	Area in ACSI	Percent of ACSI
Bw	Brockton loam, 0 to 2 percent slopes	95	2.0	1.4%
CIB	Conner loam, 0 to 4 percent slopes	10	13.0	9.9%
Consbll	Conner loam, 0 to 4 percent slopes	5	25.0	20.8%
WbB	Waukegan loamy sand, 2 to 8 percent slopes	0	8.5	6.0%
WbC	Waukegan loamy sand, 8 to 12 percent slopes	0	1.7	1.2%
MoB	Waukegan loam, 2 to 8 percent slopes	5	27.9	19.6%
MoC	Waukegan loam, 8 to 12 percent slopes	4	29.7	20.9%
WbC	Waukegan loam, 0 to 2 percent slopes	0	0.0	0.0%
Sm	Sloan silt loam	95	15.5	10.9%
Sn	Sloan silt loam, occasionally flooded	95	4.1	2.9%
SpA	Spartan loamy sand, wet, 0 to 2 percent slopes	10	6.8	4.8%
W	Water	0	2.6	1.8%
Totals for Area of Interest			142.1	100.0%

East 1/4 Corner
Section 10
T6N-R7E

Southeast Corner
Section 10 and
Northwest Corner
Section 14
T6N-R7E



NO.	REVISION/ISSUE	DATE

SHEET TITLE:
NATURAL FEATURES
PLAN

4-344 SILVER LAKE
ROAD
LINDEN, MI 48451
OFFICE: (810) 750-5280
EMAIL: 1996LEPC@GMAIL.COM

**LAWRENCE
ENGINEERING P.C.**
ENGINEERING

PROJECT:
QUEEN'S MEADOWS
MIKE DE MIL
48991 JEFFERSON
CHESTERFIELD, MI 48047
(586) 980-2079

JOB NO.: 2022-001B
DATE: 4/3/2023
DRAWN BY: BLB
CHECKED BY: MML
SHEET: 2 OF 27



MML

GENERAL NOTES:

- STANDARD SPECIFICATIONS: ALL MATERIALS AND CONSTRUCTION METHODS FOR THIS PROJECT SHALL CONFORM WITH THE REQUIREMENTS OF ALL GOVERNING AGENCIES HAVING JURISDICTION (LOCAL, COUNTY, STATE), UNLESS OTHERWISE NOTED. CONSTRUCTION MATERIALS SHALL COMPLY WITH THE LATEST EDITION OF THE STATE OF MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION AND PROJECT SPECIFICATIONS. IN CASE OF DISCREPANCIES BETWEEN REQUIREMENTS, THE MOST STRINGENT SHALL APPLY.
- EXISTING BACKGROUND INFORMATION: THE EXISTING FEATURES SHOWN ON THIS PLAN ARE FROM AN ACTUAL TOPOGRAPHIC SURVEY PERFORMED BY DPS SURVEYING. THE UNDERGROUND UTILITIES SHOWN WERE EITHER VERIFIED BY THIS SURVEY OR WERE OBTAINED FROM THE BEST AVAILABLE DOCUMENT INFORMATION. NO GUARANTEES ARE GIVEN TO THE ACCURACY OF ALL UTILITIES SHOWN OR THAT ALL UTILITIES ARE INDICATED ON THIS DOCUMENT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY ALL EXISTING UTILITY LOCATIONS AND ELEVATIONS BEFORE COMMENCING WORK OR NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
- MISS DIG UTILITY PROTECTION SERVICES: THE CONTRACTOR SHALL CONTACT MISS DIG UTILITY SERVICES (811) THREE (3) WORKING DAYS PRIOR TO BEGIN OF CONSTRUCTION TO VERIFY LOCATIONS OF UTILITIES. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR PROTECTION OF ALL EXISTING UTILITIES DURING CONSTRUCTION. ANY UTILITY DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED WITH THE IDENTICAL MATERIAL IN ACCORDANCE WITH THE UTILITY OWNERS REQUIREMENTS. THE CONTRACTOR SHALL VERIFY THE DEPTH AND HORIZONTAL LOCATION OF ALL EXISTING UTILITIES AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
- SUBSURFACE SOIL CONDITIONS: THE CONTRACTOR IS RESPONSIBLE TO AQUAINT THEMSELVES WITH CURRENT SOIL AND GROUNDWATER CONDITIONS FOR THEIR OWN INFORMATION PRIOR TO BIDDING. NO MODIFICATIONS TO UNIT PRICES OR FINAL BID WILL BE MADE DUE TO VARIABLE SUBSURFACE CONDITIONS. DEWATERING, IF DETERMINED NECESSARY BY THE CONTRACTOR, WILL BE CONSIDERED INCIDENTAL TO THE INSTALLATION COST OF UTILITIES OR STRUCTURES.
- PERMITS: THE CONTRACTOR IS RESPONSIBLE FOR SECURING ALL PERMITS REQUIRED TO PERFORM ALL WORK SHOWN ON THESE DOCUMENTS. THE CONTRACTOR SHALL PAY FOR AND OBTAIN ALL PERMITS REQUIRED BY FEDERAL, STATE, LOCAL OR PRIVATE AGENCIES INCLUDING REQUIRED BONDS. COSTS INSPECTION AND TESTING SERVICES SHALL BE PAID FOR BY THE CONTRACTOR.
- SOIL EROSION CONTROL: CONTRACTOR SHALL OBTAIN SOIL EROSION CONTROL PERMIT PRIOR TO BEGIN OF CONSTRUCTION. THE CONTRACTOR SHALL COMPLY WITH ALL PROVISIONS OF ACT 451, PART 91 FOR SOIL EROSION AND SEDIMENTATION CONTROL, AND WILL BE RESPONSIBLE FOR ALL MAINTENANCE UNTIL THE FINAL ACCEPTANCE OF THE PROJECT. CONTRACTOR SHALL PROTECT ALL EXISTING AND PROPOSED STORM WATER FACILITIES ON SITE DURING CONSTRUCTION.
- MIOSHA SAFETY REQUIREMENTS: ALL WORK, CONSTRUCTION METHODS AND MATERIALS SHALL COMPLY WITH APPLICABLE STATE AND FEDERAL SAFETY, OCCUPATIONAL, HEALTH AND ENVIRONMENTAL REGULATIONS AS WELL AS NFPA AND ANSI CODES APPLICABLE.
- PRE-CONSTRUCTION MEETING: CONTRACTOR SHALL ATTEND PRE-CONSTRUCTION MEETING FOR COORDINATION WITH MUNICIPALITY, AGENCIES AND UTILITY COMPANIES. ITEMS FOR DISCUSSION WILL INCLUDE, INSPECTION SERVICES, TESTING FOR PUBLIC UTILITIES AND FINAL AS-BUILT DOCUMENTS.
- CONSTRUCTION INSPECTIONS AND FINAL TESTING: CONTRACTOR IS RESPONSIBLE TO NOTIFY ALL INSPECTION AGENCIES THREE (3) WORKING DAYS PRIOR TO THE START OF CONSTRUCTION AND ARRANGE FOR ON-SITE INSPECTION. PUBLIC UTILITIES SHALL BE TESTED PER LOCAL AND COUNTY AGENCY REQUIREMENTS WITH INSPECTOR FROM BOTH AGENCIES PRESENT. THE CONTRACTOR SHALL NOT CONNECT TO THE EXISTING PUBLIC UTILITY UNTIL THE NEW UTILITY IS TESTED AND APPROVED BY THE AGENCIES.

GENERAL NOTES:

- ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM WITH THE REQUIREMENTS OF ALL GOVERNING AGENCIES HAVING JURISDICTION (LOCAL, COUNTY, STATE), UNLESS OTHERWISE NOTED. CONSTRUCTION MATERIALS SHALL COMPLY WITH THE LATEST EDITION OF THE STATE OF MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION AND PROJECT SPECIFICATIONS. IN CASE OF DISCREPANCIES BETWEEN REQUIREMENTS, THE MOST STRINGENT SHALL APPLY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEWATERING TO ACCOMPLISH ALL WORK INDICATED ON PLANS AND TO PERFORM REQUIRED COMPACTION OPERATIONS. CONTRACTOR TO PROVIDE TESTING CONSULTANT TO VERIFY DENSITY REQUIREMENTS FOR SUBGRADE.
- PROVIDE ADEQUATE BARRICADES AT DRIVES, ENTRANCES, EXCAVATIONS AND OTHER OPENINGS TO KEEP OUT UNAUTHORIZED PERSONS AND FOR PUBLIC SAFETY AND TRAFFIC CONTROL. SAFETY PROVISIONS OF APPLICABLE LAWS INCLUDING REQUIREMENTS SET FORTH BY OSHA SHALL BE OBSERVED AT ALL TIMES. BARRICADES LEFT IN PLACE AT NIGHT SHALL BE LIGHTED.
- NO EQUIPMENT OR MATERIAL STORAGE IS PERMITTED WITHIN THE ROAD RIGHT-OF-WAY.
- CONTRACTOR'S MANNER AND METHOD OF INGRESS AND EGRESS WITH RESPECT TO THE PROJECT AREA SHALL IN NO WAY PROHIBIT OR DISTURB NORMAL PEDESTRIAN OR VEHICULAR TRAFFIC IN THE VICINITY AND IS SUBJECT TO REGULATIONS AND WRITTEN APPROVAL OF APPROPRIATE GOVERNING AGENCIES.
- RESTOR ALL STREET SURFACES, DRIVES, ROADSIDE DRAINAGE DITCHES, AND OTHER PUBLIC OR PRIVATE STRUCTURES THAT ARE DISTURBED OR DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES TO A CONDITION EQUAL TO OR BETTER THAN EXISTING CONDITIONS AND TO THE SATISFACTION OF THOSE HAVING JURISDICTION.
- CONTRACTOR SHALL FULL EROSION CONTROL PERMIT FROM GOVERNING AGENCY AND SET TEMPORARY EROSION CONTROL MEASURES AS INDICATED ON THESE DOCUMENTS PRIOR TO THE BEGINNING OF ANY DEMOLITION OR EARTHWORK.
- THE CONTRACTOR SHALL NOTIFY MISS DIG (811) THREE (3) WORKING DAYS PRIOR TO STARTING AND EXCAVATION WITH POWER EQUIPMENT.
- THE CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL CONSTRUCTION LAYOUT AND GRADE ELEVATIONS FOR THEIR WORK IN ACCORDANCE WITH DATA SHOWN ON THESE DOCUMENTS.
- VERIFY EXACT LOCATION OF UNDERGROUND UTILITIES PRIOR TO BEGINNING OF CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER.
- ANY EXISTING UTILITIES SCHEDULED FOR ABANDONMENT ON THIS PROPERTY SHALL BE PROPERLY TERMINATED IN COMPLIANCE WITH LOCAL AND/OR COUNTY REGULATIONS AND COORDINATED WITH PRIVATE UTILITY COMPANIES (WERE APPLICABLE)
- EXCAVATED AREAS WITHIN PROPOSED BUILDING AND PAVEMENT AREAS SHALL BE BACKFILLED TO FINISHED SUBGRADE ELEVATION WITH STRUCTURAL FILL (MDOT CLASS II SAND). THE SAND SHALL BE COMPACTED IN CONTINUOUS LAYERS NOT EXCEEDING 8 INCH LOOSE LIFTS. COMPACTED TO 95 PERCENT OF MAXIMUM DENSITY IN ACCORDANCE WITH ANSI/ASTM D 1557 MODIFIED PROCTOR.
- COORDINATES AND/OR DIMENSIONS SHOWN ON THIS DOCUMENT ARE TO BACK OF CURB. OUTSIDE FACE OF BUILDING FOUNDATIONS, EDGE OF PAVEMENT, CENTER OF STRUCTURE, CENTERLINE OF STRIPING UNLESS NOTED OTHERWISE.
- NO DIMENSIONS SHALL BE SCALED OFF THE DOCUMENTS. REEFER UNCLER ITEMS TO THE ENGINEERING FOR INTERPRETATION.
- REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS, SLAB AND UNDERBED THICKNESS.

SANITARY SEWER NOTES:

- MATERIAL AND CONSTRUCTION METHODS FOR THE INSTALLATION OF SANITARY SEWER SHALL BE IN ACCORDANCE WITH GCDC-WWS AND CITY OF GRAND BLANC REQUIREMENTS.
- ALL SANITARY SEWER PIPE SHALL BE PVC SDR 26 AND MEET ASTM D-3034 FOR HEAVY WALL PIPE UNLESS OTHERWISE NOTED.
- NEW PUBLIC SANITARY SEWER 8" AND LARGER SHALL BE INTERNALLY TELEVIEWED BY THE CONTRACTOR AND THE TV REPORTS INCLUDING TAPES, SHALL BE GIVEN TO GCDC-WWS PRIOR TO REQUEST OF FINAL ACCEPTANCE. GCDC-WWS SHALL BE NOTIFIED WHEN LINE IS TO BE TELEVIEWED TO BE PRESENT AND TO ENSURE IT IS PERFORMED BASED ON GCDC-WWS REQUIREMENTS.
- TESTING PROCEDURE OF NEW SANITARY LINE SHALL BE IN ACCORDANCE WITH GCDC-WWS AND CITY OF GRAND BLANC REQUIREMENTS. CONTRACTOR TO COORDINATE INSPECTIONS WITH AGENCIES.
- REFER TO GCDC-WWS STANDARD DETAIL SHEETS FOR SANITARY DETAILS AND STANDARD NOTES. REFER TO SHEET ? FOR GCDC-WWS 10 STANDARD NOTES.
- SANITARY SEWER LEADS SHALL EXTEND TO 1' INSIDE OF UTILITY EASEMENT AND INCLUDE A CLEANOUT PER GCDC-WWS DETAIL SD-3.
- ALL SANITARY LEADS MUST BE CONNECTED TO MATCH MAINLINE FLOW DIRECTION, ANY LEADS CONNECTED AGAINST MAINLINE FLOW WILL NOT BE ACCEPTED.
- STATIONING SHOWN FOR SANITARY SYSTEM IS ALONG SANITARY MAIN. SEWER LENGTHS SHOWN IN PLAN AND PROFILE VIEW ARE MEASURED CENTERLINE TO CENTERLINE OF MANHOLES.

STORM SEWER NOTES:

- ALL MATERIALS SHALL COMPLY WITH MDOT STANDARD SPECIFICATIONS AND/OR LOCAL GOVERNING AGENCIES.
- STORM SEWER CONVEYANCE: STORM SEWER PIPE SHALL BE CONCRETE PIPE CLASS IV.
- STORM SEWER STRUCTURES: REINFORCED CONCRETE IN CONFORMANCE WITH ASTM C478, DEPTH AS INDICATED ON DOCUMENTS.
- FRAME & COVERS: ALL CATCH BASINS & MANHOLES SHALL BE MANUFACTURED BY EAST JORDAN IRON WORKS (UNLESS ALTERNATE IS APPROVED BY ENGINEER).
 - CATCH BASIN - CURB LINES - EJIW #7066 TYPE M1 GRATE W/ 7060 T1 BACK
 - CATCH BASIN - GRASS AREA - EJIW #1130 TYPE 02 BEEHIVE GRATE
 - INLET - GRASS AREA - EJIW #1030 TYPE 02 BEEHIVE GRATE
 - MANHOLE - ALL AREAS - EJIW #1040 TYPE A SOLID COVER
- UNDERDRAIN: 4" PERFORATED, FLEXIBLE HDPE TUBING, COUPLING BAND, PIPE SHALL BE FILTER SOCK WRAPPED AND FITTED WITH END CAPS. PERFORATIONS SHALL BE UNIFORMLY DISTRIBUTED ALONG THE TOP OF THE BOTTOM SECTION IN ACCORDANCE WITH ASHOTO M252 PERFORATION REQUIREMENTS.
- SUMP LEADS: 4" SUMP LEADS SHALL HAVE A MINIMUM COVER OF 4' WITH A MINIMUM SLOPE OF 1% INSTALL 4" WYES AT THE END OF EACH 4" PIPE. PROVIDE TEMPORARY PLUGS AT THE ENDS OF ALL 4" WYES. PROVIDE 2"x4" STAKE AT THE ENDS OF ALL SUMP LEADS.
- END SECTIONS: ALL PIPE END SECTIONS 12" AND LARGER SHALL RECEIVE A BAR GRATE PER MDOT REQUIREMENTS.
- REFER TO SHEET ? FOR STORM SEWER DETAILS. FOR PROFILES REFER TO SHEETS ? TO ?.

GENERAL UTILITY NOTES:

- ALL WORKMANSHIP AND MATERIALS FOR SANITARY, STORM SEWER AND WATERMAIN SHALL CONFORM TO THE LATEST STANDARDS AND SPECIFICATIONS OF ALL LOCAL GOVERNING AGENCIES HAVING JURISDICTION. IN CASE OF DISCREPANCIES, THE CONTRACTOR SHALL COORDINATE WITH THE AGENCIES TO RESOLVE THESE ISSUES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DEWATERING AND STABILIZING (IF REQUIRED) ALL TRENCH EXCAVATIONS TO ACCOMPLISH WORK INDICATED ON PLANS AND TO ACHIEVE REQUIRED COMPACTION OPERATIONS AS INDICATED IN THE PROJECT SPECIFICATIONS OR ON THESE DOCUMENTS. DEWATERING, IF DETERMINED NECESSARY BY THE CONTRACTOR, WILL BE CONSIDERED INCIDENTAL TO THE INSTALLATION COST OF UTILITIES OR STRUCTURES.
- UTILITY SERVICE LEADS SHALL END AS INDICATED ON DOCUMENTS. PROVIDE 2"x4" STAKE AT END OF ALL LEADS (STORM, SANITARY AND WATER) & PROVIDED TEMPORARY BULKHEAD.
- PROTECT AND MAINTAIN 18 INCH CLEARANCE AT ALL UTILITY CROSSINGS.
- REFER TO TRENCH DETAILS SHOWN ON THESE DOCUMENTS FOR BEDDING AND BACKFILL MATERIAL REQUIREMENTS.
- TRENCH EXCAVATIONS SHALL BE COMPACTED IN CONTINUOUS LAYERS NOT EXCEEDING 8 INCH LOOSE LIFTS. COMPACTED TO 95% OF MAXIMUM DENSITY IN ACCORDANCE WITH ANSI/ASTM D 1557 MODIFIED PROCTOR.
- ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER ARE PROHIBITED.
- CONTRACTOR SHALL COORDINATE INSTALLATION OF GAS, ELECTRIC, AND TELEPHONE WITH APPROPRIATE UTILITY COMPANIES.
- TESTING PROCEDURE FOR SANITARY SEWER SHALL BE IN ACCORDANCE WITH LOCAL GOVERNING AGENCY REQUIREMENTS. CONTRACTOR SHALL COORDINATE WITH ALL GOVERNING AGENCIES AND HAVE INSPECTORS PRESENT DURING THE TESTING PROCEDURES. ALL TESTING MUST BE APPROVED BY ALL GOVERNING AGENCIES PRIOR TO CONNECTION INTO EXISTING UTILITIES.
- CONTRACTOR SHALL VERIFY EXACT LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING OF CONSTRUCTION, REPORT ANY DISCREPANCIES TO THE ENGINEER.
- CONTRACTOR SHALL ADJUST ANY UTILITY ELEMENT MEANT TO BE FLUSH WITH NEW GRADE (CLEAN OUT, MANHOLES, CATCH BASINS, INLETS, ETC.) THAT ARE AFFECTED BY SITE WORK OR GRADE CHANGES, WHETHER SPECIFICALLY NOTED ON PLANS OR NOT. THE CONTRACTOR SHALL OBTAIN ANY NECESSARY PERMITS FOR ADJUSTMENT AT THE CONTRACTOR'S EXPENSE (IF APPLICABLE).
- THE CONTRACTOR SHALL PAY FOR ALL CHARGES FOR INSPECTION AND TESTING.
- THE CONTRACTOR SHALL CONTROL NOISE AND LIMIT WORKING HOURS TO TIMES AS ESTABLISHED BY LOCAL MUNICIPALITY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEAN-UP OF WORK AREA AT COMPLETION OF THE PROJECT AND LEAVE THE SITE IN AN ACCEPTABLE CONDITION AS DETERMINED BY THE ENGINEER/INSPECTOR AND/OR OWNER.

GCDC-WWS 10 STANDARD NOTES (7TH EDITION)

- EXTENSION OF PUBLIC UTILITIES: All public sanitary sewer and/or watermain SHALL be extended to the furthest limits of the property, including corner lots, with the pipe size and material approved by GCDC-WWS. This is necessary for plan approval. For water service of 1" or less or a building corner lot, the requirements to extend the public watermain and/or sanitary sewer along both property lines will be reviewed. Final determination shall be made by GCDC-WWS.
- WATERMAIN LOOPING: All public watermains shall be looped whenever possible. The pipe size requirements shall be approved by GCDC-WWS.
- INDUSTRIAL PRETREATMENT PROGRAM (IPP): This permit is required for all commercial (non-residential) and industrial discharges. The OWNER shall obtain an Industrial Pretreatment Discharge Permit prior to the issuance of a Sewer Connection Permit. Industrial Discharge Permits are non-transferable. Changes in facility use will require a new Industrial Discharge Permit. For more information call Anthony Ragnone Treatment Plant at (810) 232-7662.
- SOIL EROSION: The DEVELOPER and/or OWNER shall submit a detailed Soil Erosion and Sedimentation Control plan and obtain an Act 451 Part 91, Soil Erosion and Sedimentation Control permit. This includes the payment of fees and the providing of necessary bonds. No earth changes or excavation shall be started prior to the issuance of this permit. The DEVELOPER and/or Owner shall protect all existing and proposed storm sewer facilities on and adjacent to the site during excavation and construction. All sediment shall be contained on site. Any silt in county drains, storm sewer, culverts, etc. as a result of this project, shall be removed by the DEVELOPER and/or OWNER at the cost of the DEVELOPER and/or OWNER.
- FLOOD PLAIN OR WETLAND CONSTRUCTION: The DEVELOPER and/or OWNER shall apply to EGLE for a permit for the alteration and/or occupation of a flood plain or floodway, as required under PA 451. Evidence of this permit may be required prior to plan approval by GCDC-WWS.
- NPDES STORM WATER DISCHARGE PERMIT: The owner of the property shall obtain a NPDES Storm Water Discharge permit for construction activities from EGLE as required under Public Act 451. The notice of coverage form shall be submitted through GCDC-WWS with the Soil Erosion Control permit application. All EGLE fees shall accompany the Notice of Coverage. Evidence of this permit may be required prior to plan approval by GCDC-WWS.
- GENESEE COUNTY PERMIT TO CONSTRUCT A PUBLIC UTILITY: After the approval of this preliminary plat or site plan, the DEVELOPER shall submit a detailed plan for construction of all public sanitary sewer and watermain. The plans must have GCDC-WWS approval, a S-permit issued, and approval from EGLE prior to beginning construction.
- GENESEE COUNTY ROAD COMMISSION PERMIT: The DEVELOPER shall obtain a permit from the Genesee County Road Commission to perform work within the Genesee County Road Commission Right-of-Way. All Fees for the permit, bonds and insurances are the responsibility of the developer.
- MUNICIPALITY SANITARY SEWER AND WATER PERMIT: Prior to the issuance of a building permit by the local municipality, the developer shall be required to obtain a sanitary sewer and/or water tap-in permit from the local municipality, if authorized, or GCDC-WWS.
- STATE CONSTRUCTION PERMITS: The sanitary sewer and watermain construction permits from the Michigan Department of Energy, Great Lakes and Environment shall be submitted to the EGLE after approval of GCDC-WWS. Construction shall not begin until these state permits are issued.

NO.	REVISION/ISSUE	DATE

SHEET TITLE:
GENERAL NOTES

4-344 SILVER LAKE ROAD
LINDEN, MI 48451
OFFICE:(810)750-3280
EMAIL:1996LEPC@GMAIL.COM

LAWRENCE ENGINEERING P.C.
ENGINEERING

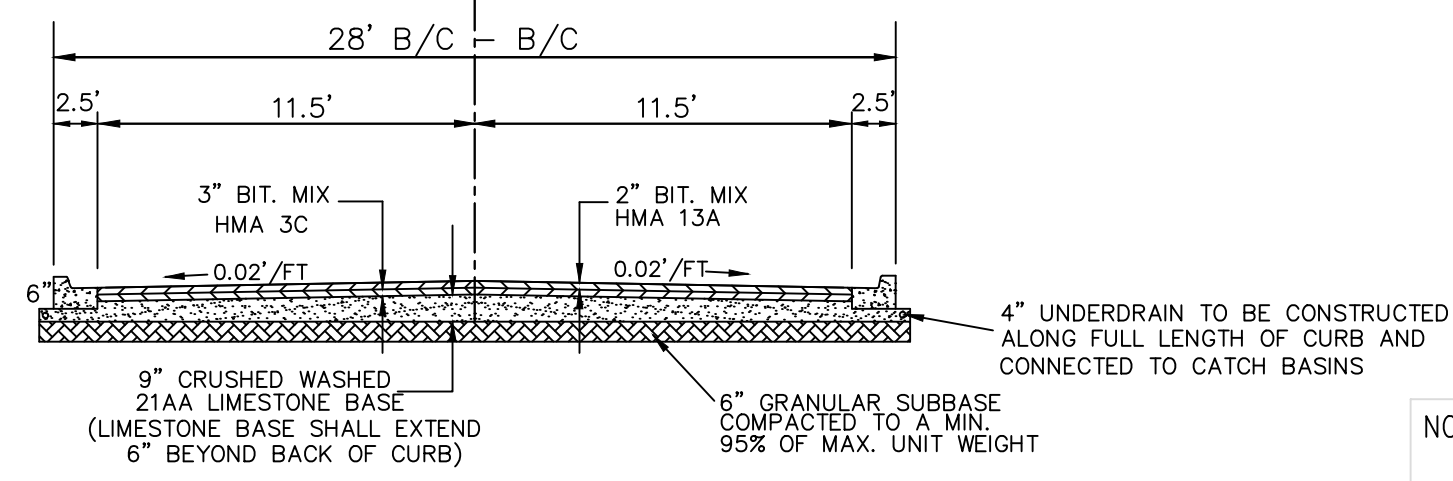


PROJECT:
QUEEN'S MEADOWS
MIKE DE MIL
48991 JEFFERSON
CHESTERFIELD, MI 48047
(586)980-2079

JOB NO.: 2022-001B
DATE: 4/3/2023
DRAWN BY: BLB
CHECKED BY: MML
SHEET: 3 OF 27

LEGEND

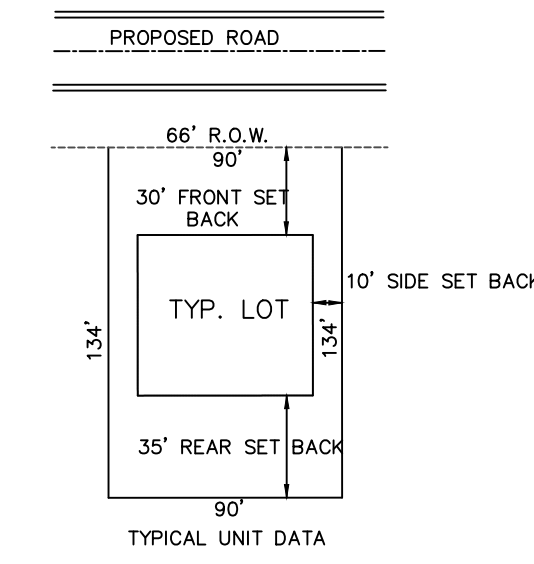
- 844 — EXISTING CONTOUR LINE
- EXISTING STORM STRUCTURE
- - - EXISTING STORM WATER LINE
- PROPOSED STORM CATCH BASIN
- PROPOSED STORM MANHOLE
- - - PROPOSED STORM WATER LINE
- EXISTING SANITARY SEWER MANHOLE
- - - EXISTING 27" SANITARY SEWER INTERCEPTOR
- PROPOSED SANITARY SEWER MANHOLE
- - - PROPOSED 8" SANITARY SEWER
- EXISTING WATERMAIN
- EXISTING FIRE HYDRANT
- - - EXISTING WATERMAIN VALVE
- - - PROPOSED 8" WATERMAIN
- EXISTING TREE
- EXISTING TREE



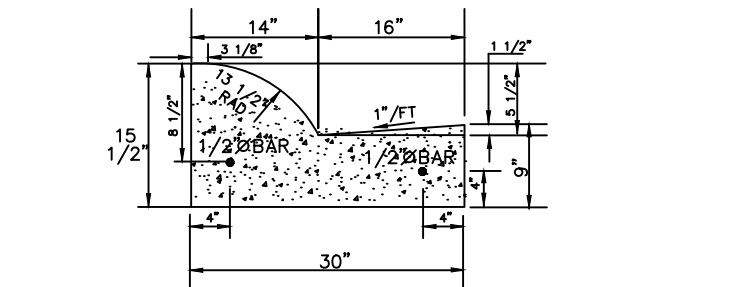
TYPICAL RESIDENTIAL ROADWAY
NO SCALE

NOTE: ALL PROPOSED ROADS, WATERMAIN, SANITARY MAIN, AND STORM SYSTEM COMPONENTS ARE TO BE PUBLIC.

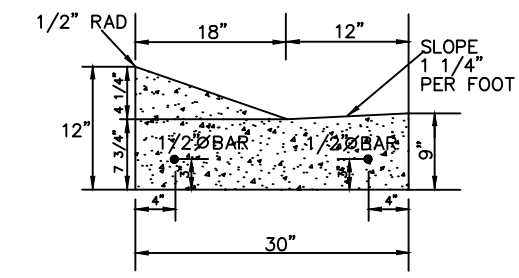
NOTE: UNIT #S 27 THROUGH 52 SHALL ONLY HAVE DRIVEWAY ACCESS VIA ZOE LANE.



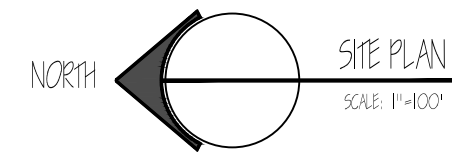
TYPICAL UNIT DATA



B2 MODIFIED CURB & GUTTER FOR BOULEVARD ENTRANCE
NOT TO SCALE

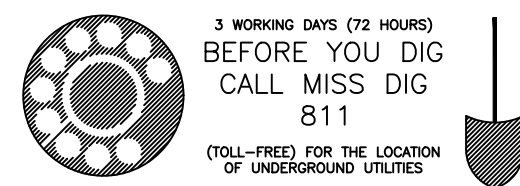
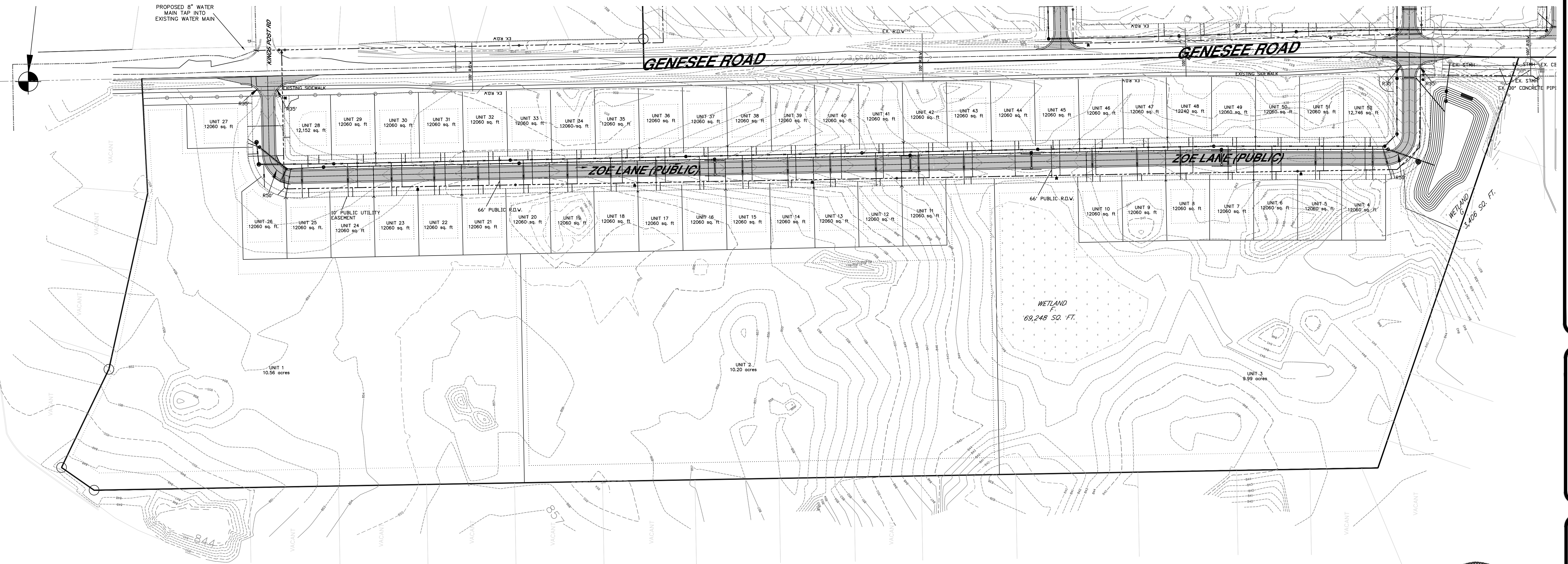


MOUNTABLE CURB & GUTTER FOR RESIDENTIAL ROADWAY
NOT TO SCALE



SITE DATA TABLE

EXISTING ZONING	R-1
PROPOSED ZONING	R-1
TAX PARCEL NO.	56-14-400-004
TOTAL LOT AREA	52.58 ACRES
PAVED AREA	1.75 ACRES
BUILDING SET BACK (INTERNAL)	FRONT SIDE BACK
NUMBER OF UNITS	30
UNIT DENSITY	1.04 UNITS/ACRE
MIN. UNIT AREA	12,000.00 SQ. FT.
MIN. UNIT WIDTH	90 FT.
8" SANITARY SEWER MAIN	2,598 LF
SANITARY MANHOLES	11
8" WATER MAIN D.I. CLASS 53	3,014 LF
FIRE HYDRANTS	7
GATE VALVES	5
12" RCP STORM PIPE CLASS V	176 LF
15" RCP STORM PIPE CLASS V	152 LF
24" RCP STORM PIPE CLASS V	1,584 LF
30" RCP STORM PIPE CLASS V	830 LF
AQUA-SWIRL AS-7 BYP	1
CATCH BASINS	12
STORM MANHOLES	8
DETENTION PONDS	1
LF OF ROAD (28 FT BC TO BC)	2,817 LF



NO.	REVISION/ISSUE	DATE

SHEET TITLE:
SITE PLAN

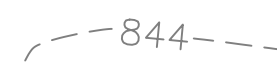

















4344 SILVER LAKE ROAD
LINDEN, MI 48451
OFFICE: (810)750-5280
EMAIL: 1996LEPC@GMAIL.COM

LAWRENCE ENGINEERING P.C.
ENGINEERING

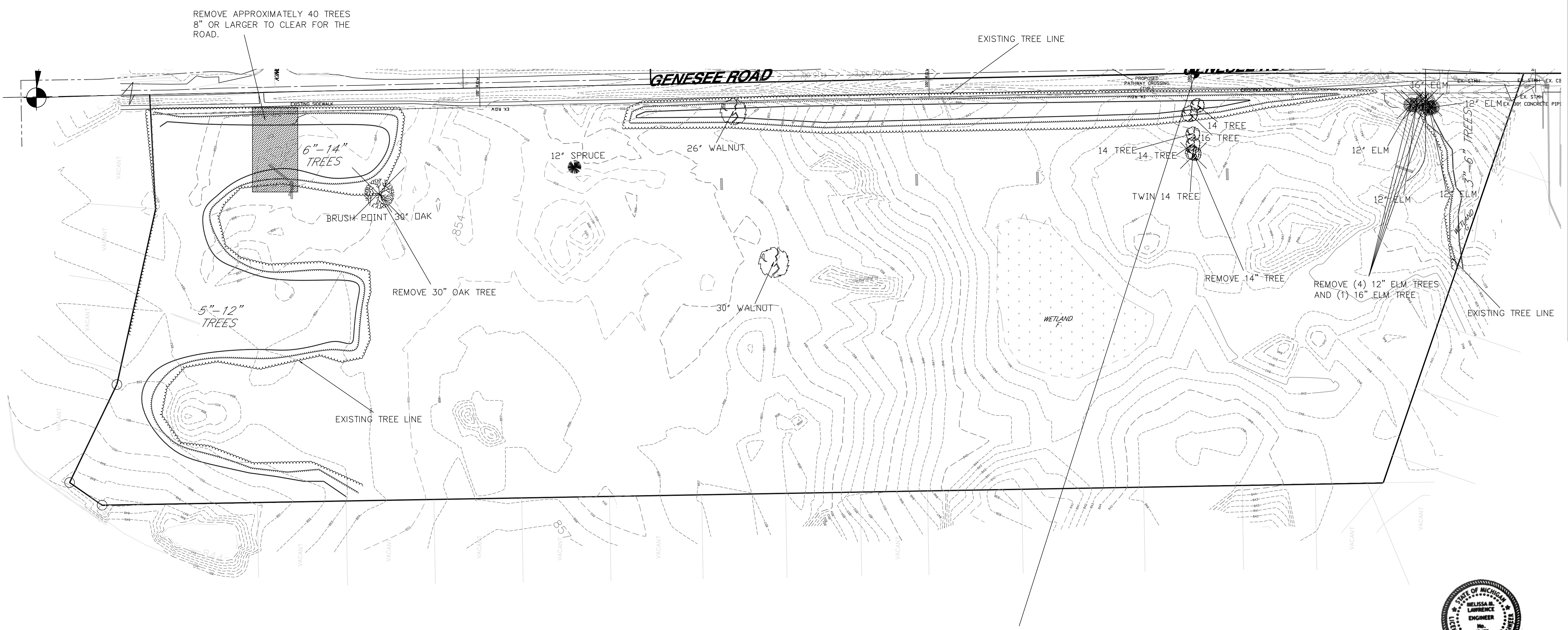
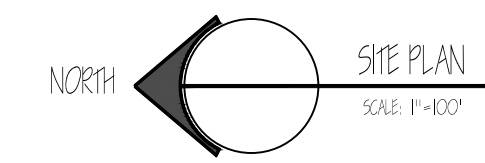
PROJECT: QUEEN'S MEADOWS
MIKE DE MIL
48991 JEFFERSON
CHESTERFIELD, MI 48047
(586)980-2079

JOB NO.: 2022-001B	SHEET: 4 OF 27
DATE: 4/3/2023	DRAWN BY: BLB
CHECKED BY: MML	

LEGEND

-  EXISTING CONTOUR LINE
-  EXISTING STORM STRUCTURE
-  EXISTING STORM WATER LINE
-  PROPOSED STORM CATCH BASIN
-  PROPOSED STORM MANHOLE
-  PROPOSED STORM WATER LINE
-  EXISTING SANITARY SEWER MANHOLE
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-  PROPOSED 8" SANITARY SEWER
-  EXISTING WATERMAIN
-  EXISTING FIRE HYDRANT
-  EXISTING WATERMAIN VALVE
-  PROPOSED 8" WATERMAIN
-  PROPOSED FIRE HYDRANT
-  EXISTING TREE LINE
-  EXISTING TREE
-  EXISTING TREE TO BE REMOVED

WOODLAND REQUIREMENTS OF SECTION 318
 SECTION 318 REQUIRES PLANNING COMMISSION APPROVAL FOR THE CLEARING OF MORE THAN 25% OF TREES 8" CALIPER AND GREATER.
 PROPOSED TREES 8" CALIPER OR LARGER TO BE REMOVED = 58
 EXISTING NUMBER OF EXISTING TREES 8" CALIPER AND LARGER TREES LOCATED IN NORTH END TREAED AREA = 300+
 APPROXIMATE PERCENTAGE OF 8" CALIPER (OR LARGER) TREES BEING REMOVED: $\frac{58}{300}$
 = .19 (19%)



NO.	REVISION/ISSUE	DATE

SHEET TITLE:
**TREE SURVEY/
 REMOVAL PLAN**

4344 SILVER LAKE
 ROAD
 LINDEN, MI 48451
 OFFICE: (810) 750-5280
 EMAIL: 1996LEFC@GMAIL.COM

**LAWRENCE
 ENGINEERING P.C.
 ENGINEERING**



PROJECT:
 QUEEN'S MEADOWS
 MIKE DE MIL
 48991 JEFFERSON
 CHESTERFIELD, MI 48047
 (566) 980-2079

JOB NO.:	2022-001B
DATE:	4/3/2023
DRAWN BY:	BLB
CHECKED BY:	MML
SHEET:	5 OF 27

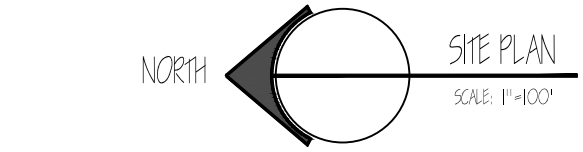


SOIL EROSION CONTROL MEASURES	Symbol	Description
1	[Symbol]	1. Seeding See text for a general, legend or primary, to state how to seed and what to seed. State the type of seed, rate of application, and date of application.
2	[Symbol]	2. Mulch See text for a general, legend or primary, to state how to mulch and what to mulch. State the type of mulch, rate of application, and date of application.
3	[Symbol]	3. Catch Basin See text for a general, legend or primary, to state how to catch basins and what to catch. State the type of catch basin, rate of application, and date of application.
4	[Symbol]	4. Storm Drain Inlet Protection See text for a general, legend or primary, to state how to storm drain inlet protection and what to protect. State the type of inlet protection, rate of application, and date of application.
5	[Symbol]	5. Slope Stabilization See text for a general, legend or primary, to state how to slope stabilization and what to stabilize. State the type of stabilization, rate of application, and date of application.
6	[Symbol]	6. Silt Fence See text for a general, legend or primary, to state how to silt fence and what to fence. State the type of silt fence, rate of application, and date of application.
7	[Symbol]	7. Silt Fence See text for a general, legend or primary, to state how to silt fence and what to fence. State the type of silt fence, rate of application, and date of application.
8	[Symbol]	8. Temporary Construction Entrance See text for a general, legend or primary, to state how to temporary construction entrance and what to entrance. State the type of entrance, rate of application, and date of application.
9	[Symbol]	9. Temporary Construction Entrance See text for a general, legend or primary, to state how to temporary construction entrance and what to entrance. State the type of entrance, rate of application, and date of application.



Map Unit Number	Map Unit Name	Area in Acre	Percent of Acre
1	Open Space, 0 to 2 percent slope	1.0	4.3%
2	Open Space, 2 to 4 percent slope	1.9	8.3%
3	Open Space, 4 to 6 percent slope	42.7	183%
4	Open Space, 6 to 8 percent slope	6.8	29%
5	Open Space, 8 to 10 percent slope	1.7	7%
6	Open Space, 10 to 12 percent slope	25.1	108%
7	Open Space, 12 to 14 percent slope	14.4	62%
8	Open Space, 14 to 16 percent slope	1.2	5%
9	Open Space, 16 to 18 percent slope	1.2	5%
10	Open Space, 18 to 20 percent slope	1.5	6%
11	Open Space, 20 to 22 percent slope	0.2	1%
12	Open Space, 22 to 24 percent slope	1.1	5%
13	Open Space, 24 to 26 percent slope	0.2	1%
14	Open Space, 26 to 28 percent slope	1.1	5%
15	Open Space, 28 to 30 percent slope	0.2	1%
16	Open Space, 30 to 32 percent slope	1.1	5%
17	Open Space, 32 to 34 percent slope	0.2	1%
18	Open Space, 34 to 36 percent slope	1.1	5%
19	Open Space, 36 to 38 percent slope	0.2	1%
20	Open Space, 38 to 40 percent slope	1.1	5%
21	Open Space, 40 to 42 percent slope	0.2	1%
22	Open Space, 42 to 44 percent slope	1.1	5%
23	Open Space, 44 to 46 percent slope	0.2	1%
24	Open Space, 46 to 48 percent slope	1.1	5%
25	Open Space, 48 to 50 percent slope	0.2	1%
26	Open Space, 50 to 52 percent slope	1.1	5%
27	Open Space, 52 to 54 percent slope	0.2	1%
28	Open Space, 54 to 56 percent slope	1.1	5%
29	Open Space, 56 to 58 percent slope	0.2	1%
30	Open Space, 58 to 60 percent slope	1.1	5%
31	Open Space, 60 to 62 percent slope	0.2	1%
32	Open Space, 62 to 64 percent slope	1.1	5%
33	Open Space, 64 to 66 percent slope	0.2	1%
34	Open Space, 66 to 68 percent slope	1.1	5%
35	Open Space, 68 to 70 percent slope	0.2	1%
36	Open Space, 70 to 72 percent slope	1.1	5%
37	Open Space, 72 to 74 percent slope	0.2	1%
38	Open Space, 74 to 76 percent slope	1.1	5%
39	Open Space, 76 to 78 percent slope	0.2	1%
40	Open Space, 78 to 80 percent slope	1.1	5%
41	Open Space, 80 to 82 percent slope	0.2	1%
42	Open Space, 82 to 84 percent slope	1.1	5%
43	Open Space, 84 to 86 percent slope	0.2	1%
44	Open Space, 86 to 88 percent slope	1.1	5%
45	Open Space, 88 to 90 percent slope	0.2	1%
46	Open Space, 90 to 92 percent slope	1.1	5%
47	Open Space, 92 to 94 percent slope	0.2	1%
48	Open Space, 94 to 96 percent slope	1.1	5%
49	Open Space, 96 to 98 percent slope	0.2	1%
50	Open Space, 98 to 100 percent slope	1.1	5%
51	Open Space, 100 to 102 percent slope	0.2	1%
52	Open Space, 102 to 104 percent slope	1.1	5%
53	Open Space, 104 to 106 percent slope	0.2	1%
54	Open Space, 106 to 108 percent slope	1.1	5%
55	Open Space, 108 to 110 percent slope	0.2	1%
56	Open Space, 110 to 112 percent slope	1.1	5%
57	Open Space, 112 to 114 percent slope	0.2	1%
58	Open Space, 114 to 116 percent slope	1.1	5%
59	Open Space, 116 to 118 percent slope	0.2	1%
60	Open Space, 118 to 120 percent slope	1.1	5%
61	Open Space, 120 to 122 percent slope	0.2	1%
62	Open Space, 122 to 124 percent slope	1.1	5%
63	Open Space, 124 to 126 percent slope	0.2	1%
64	Open Space, 126 to 128 percent slope	1.1	5%
65	Open Space, 128 to 130 percent slope	0.2	1%
66	Open Space, 130 to 132 percent slope	1.1	5%
67	Open Space, 132 to 134 percent slope	0.2	1%
68	Open Space, 134 to 136 percent slope	1.1	5%
69	Open Space, 136 to 138 percent slope	0.2	1%
70	Open Space, 138 to 140 percent slope	1.1	5%
71	Open Space, 140 to 142 percent slope	0.2	1%
72	Open Space, 142 to 144 percent slope	1.1	5%
73	Open Space, 144 to 146 percent slope	0.2	1%
74	Open Space, 146 to 148 percent slope	1.1	5%
75	Open Space, 148 to 150 percent slope	0.2	1%
76	Open Space, 150 to 152 percent slope	1.1	5%
77	Open Space, 152 to 154 percent slope	0.2	1%
78	Open Space, 154 to 156 percent slope	1.1	5%
79	Open Space, 156 to 158 percent slope	0.2	1%
80	Open Space, 158 to 160 percent slope	1.1	5%
81	Open Space, 160 to 162 percent slope	0.2	1%
82	Open Space, 162 to 164 percent slope	1.1	5%
83	Open Space, 164 to 166 percent slope	0.2	1%
84	Open Space, 166 to 168 percent slope	1.1	5%
85	Open Space, 168 to 170 percent slope	0.2	1%
86	Open Space, 170 to 172 percent slope	1.1	5%
87	Open Space, 172 to 174 percent slope	0.2	1%
88	Open Space, 174 to 176 percent slope	1.1	5%
89	Open Space, 176 to 178 percent slope	0.2	1%
90	Open Space, 178 to 180 percent slope	1.1	5%
91	Open Space, 180 to 182 percent slope	0.2	1%
92	Open Space, 182 to 184 percent slope	1.1	5%
93	Open Space, 184 to 186 percent slope	0.2	1%
94	Open Space, 186 to 188 percent slope	1.1	5%
95	Open Space, 188 to 190 percent slope	0.2	1%
96	Open Space, 190 to 192 percent slope	1.1	5%
97	Open Space, 192 to 194 percent slope	0.2	1%
98	Open Space, 194 to 196 percent slope	1.1	5%
99	Open Space, 196 to 198 percent slope	0.2	1%
100	Open Space, 198 to 200 percent slope	1.1	5%

SOIL EROSION CONTROL
DISTURBED AREA = 23.97± ACRES NPDES N.O.C. PERMIT IS REQUIRED AFTER RECEIPT OF SESC PERMIT FROM GCDC



GRADING NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF GRAND BLANC AND MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS.
- SPOT ELEVATIONS INDICATE TOP OF PAVEMENT UNLESS OTHERWISE INDICATED.
- REFER TO ARCHITECTURAL PLANS TO VERIFY BUILDING DIMENSIONS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO SECURE ALL PERMITS AND POST ALL BONDS PRIOR TO CONSTRUCTION. OR ENSURE THAT ALL REQUIRED PERMITS AND BONDS HAVE BEEN OBTAINED PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING MISS-DIG AT 1-800-482-7171 AT LEAST 3 WORKING DAYS PRIOR TO EXCAVATION.
- THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR THE PROTECTION OF ALL EXISTING UTILITIES DURING CONSTRUCTION. ALL UTILITIES DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED WITH LIKE MATERIAL. THE EXACT LOCATION OF EXISTING UTILITIES SHALL BE LOCATED BY HAND DIGGING.
- DIMENSIONS ARE TO FACE OF CURB, OUTSIDE FACE OF BUILDING, EDGE OF PAVEMENT, CENTER OF STRUCTURE OR OTHERWISE INDICATED.
- ALL WORK SHALL CONFORM TO THE CITY OF GRAND BLANC AND MDOT STANDARDS AND SPECIFICATIONS.

SOIL EROSION & SEDIMENTATION CONTROL NOTES

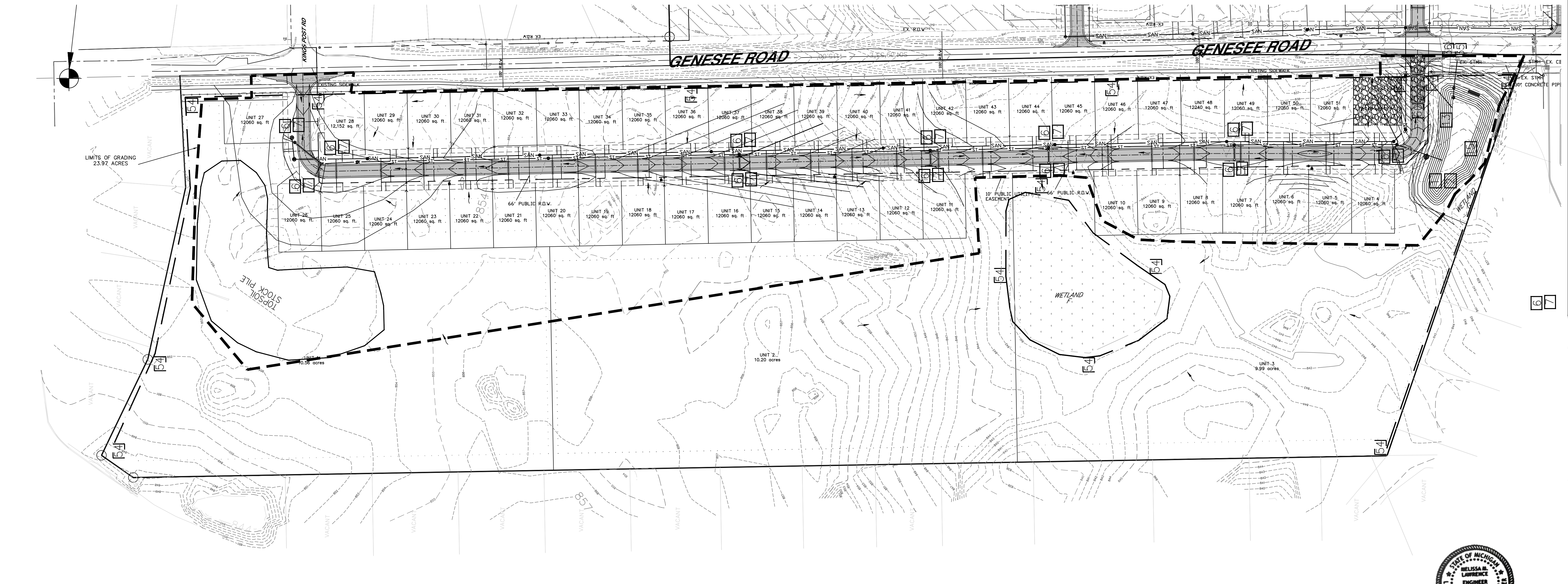
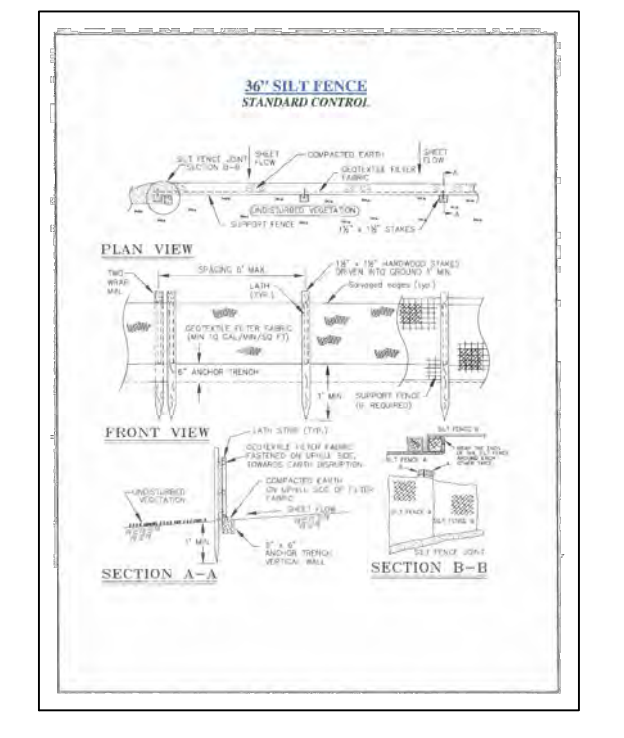
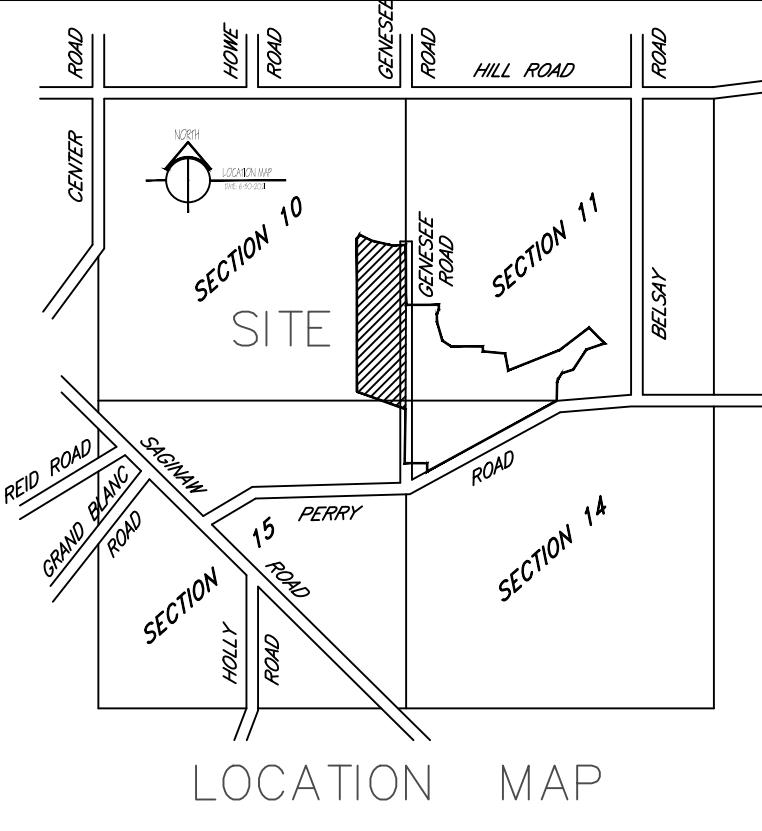
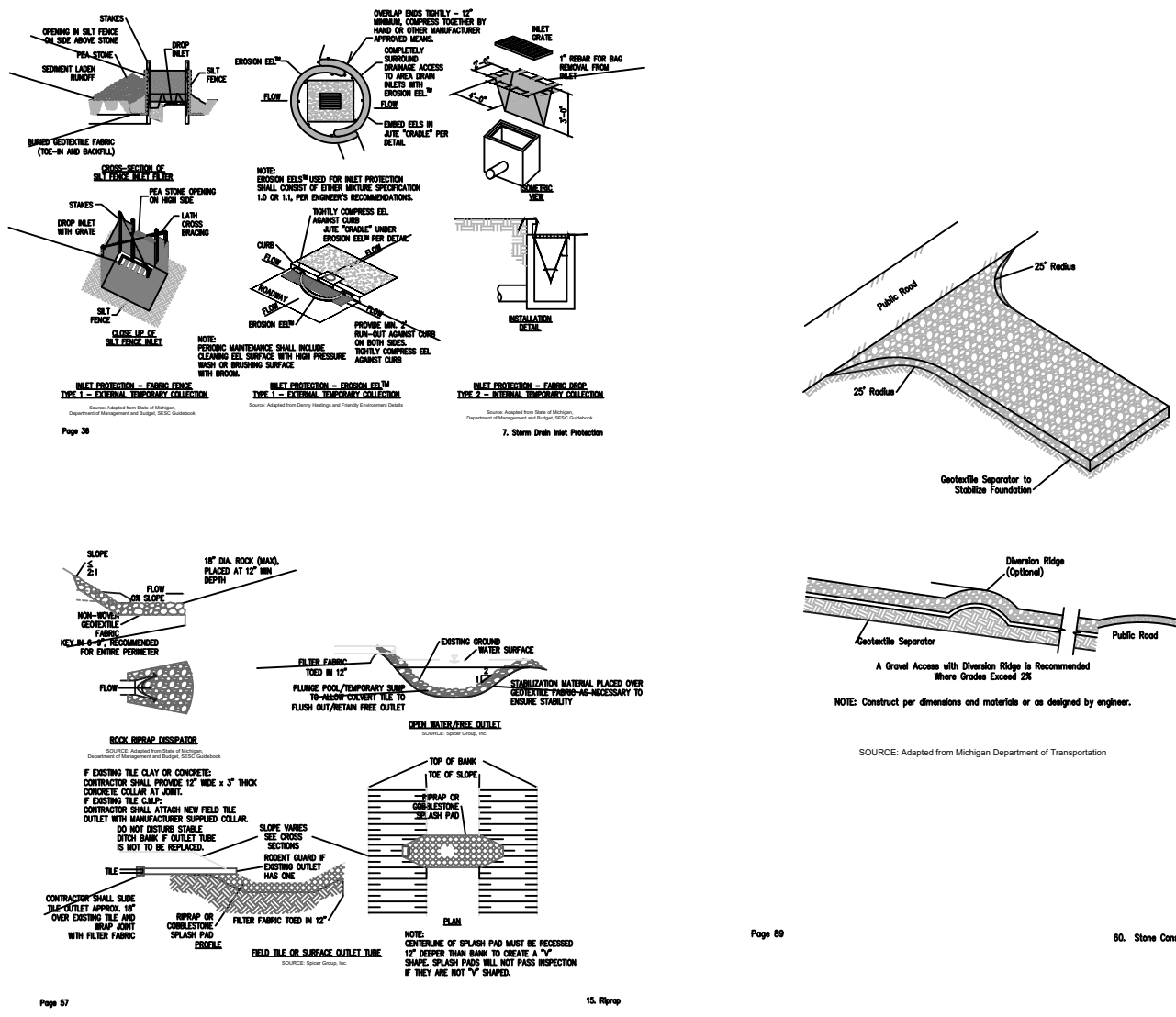
- ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE GENESSEE COUNTY DRAIN COMMISSIONER'S STANDARDS AND SPECIFICATIONS.
- DAILY INSPECTIONS SHALL BE MADE BY THE CONTRACTOR TO DETERMINE THE EFFECTIVENESS OF EROSION AND SEDIMENT CONTROL MEASURES. ANY NECESSARY REPAIRS SHALL BE PERFORMED WITHOUT DELAY.
- ANY EROSION OR SEDIMENT FROM WORK ON THIS SITE SHALL BE CONTAINED ON THE SITE AND NOT ALLOWED TO COLLECT ON ANY OFF-SITE AREAS OR IN WATERWAYS. WATERWAYS INCLUDE BOTH NATURAL AND MANMADE OPEN DITCHES, STREAMS, STORM DRAINS, LAKES AND PONDS.
- CONTRACTOR SHALL APPLY TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES AS REQUIRED AND AS DIRECTED ON THESE PLANS. CONTRACTOR SHALL REMOVE TEMPORARY MEASURES AS SOON AS PERMANENT STABILIZATION OF SLOPES, DITCHES AND OTHER EARTH CHANGES HAVE BEEN ESTABLISHED.
- AFTER ALL TEMPORARY EROSION CONTROL MEASURES HAVE BEEN INSTALLED, THE CONTRACTOR SHALL CONTACT GENESSEE COUNTY DRAIN COMMISSIONER'S OFFICE FOR AN INSTALLATION INSPECTION.
- DUST CONTROL SHALL BE EXERCISED AT ALL TIMES WITHIN THE PROJECT BY THE CONTRACTOR.
- ALL MUD, DIRT AND DEBRIS TRACKED ONTO EXISTING ROADS SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR NO LESS THAN ON A DAILY BASIS. ALL MUD, DIRT AND DEBRIS TRACKED OR SPILLED ONTO PAVED SURFACES WITHIN THIS SITE SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR.
- PERMANENT EROSION CONTROL MEASURES SHALL BE COMPLETED WITHIN 15 CALENDAR DAYS AFTER FINAL GRADING OR EARTH MOVING ACTIVITY HAS BEEN COMPLETED. A FINAL INSPECTION SHALL BE SCHEDULED BY THE CONTRACTOR.
- GCDC SHALL INSPECT ALL SOIL EROSION CONTROL MEASURES. UPON THEIR DIRECTION, ADDITIONAL MEASURES SHALL BE CONSTRUCTED AND MAINTENANCE WORK SHALL BE PERFORMED TO ENSURE COMPLIANCE WITH ALL PERMIT REQUIREMENTS.

MAINTENANCE NOTES

- SOIL STOCKPILES**
PERIODIC INSPECTIONS SHOULD BE DONE TO ENSURE EXCESSIVE EROSION HAS NOT OCCURRED. IF RUNOFF OR WIND EROSION HAS OCCURRED, REDUCE THE SIDE SLOPES OF THE SPOIL PILE, OR RE-STABILIZE THE STOCKPILE BY PROVIDING TEMPORARY SEEDING.
- DUST CONTROL**
WHEN FILTER FENCING IS USED AROUND A SPOIL PILE, PERIODIC CHECKS SHOULD BE MADE TO ENSURE THAT PILING HAS NOT OCCURRED UNDER THE FENCING, AND TO ENSURE THE FENCE HAS NOT COLLAPSED DUE TO SOIL SLURPAGE OR ACCESS BY CONSTRUCTION EQUIPMENT. REPAIR ANY DAMAGED FENCING IMMEDIATELY.
- SILT FENCE**
SILT FENCES SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- DUST CONTROL**
SILT FENCES SHOULD BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND SEVERAL TIMES DURING PROLONGED RAINFALLS.
- SEEDING**
NEWLY SEEDED AREAS NEED TO BE INSPECTED FREQUENTLY FOR THE FIRST FEW MONTHS TO ENSURE THE GRASS IS GROWING. IF THE SEEDED AREA IS DAMAGED DUE TO RUNOFF, ADDITIONAL STORMWATER MEASURES MAY BE NEEDED. SPOT SEEDED CAN BE DONE ON SMALL AREAS TO FILL IN BARE SPOTS WHERE GRASS DIDN'T GROW PROPERLY.
- MULCHING**
MULCHED AREAS SHOULD BE CHECKED FOLLOWING EACH RAIN TO ENSURE THE MULCH IS STAYING IN PLACE. ADDITIONAL TACKING MATERIALS OR NETTING MAY NEED TO BE APPLIED TO HOLD THE MULCH IN PLACE.
- CONSTRUCTION ENTRANCE**
PROPER MAINTENANCE MAY INCLUDE ADDING ADDITIONAL LAYERS OF STONE WHEN THE ORIGINAL STONE BECOMES COVERED WITH MUD. AFTER EACH STORM EVENT, INSPECT THE ROAD FOR EROSION AND MAKE ANY NECESSARY REPAIRS. ALL SEDIMENT DROPPED OR CRODDED ONTO PUBLIC RIGHT-OF-WAY SHOULD BE REMOVED IMMEDIATELY BY SWEEPING.

CONSTRUCTION SEQUENCE	MAY 2023	JUN	JULY	AUG	SEP	OCT
TEMPORARY EROSION CONTROL MEASURES	[Bar]	[Bar]	[Bar]	[Bar]	[Bar]	[Bar]
STRIPE & STOCKPILE TOPSOIL / ROUGH GRADE	[Bar]	[Bar]	[Bar]	[Bar]	[Bar]	[Bar]
STORM SYSTEM	[Bar]	[Bar]	[Bar]	[Bar]	[Bar]	[Bar]
FOUNDATION / BLDG. CONSTRUCTION	[Bar]	[Bar]	[Bar]	[Bar]	[Bar]	[Bar]
SANITARY & WATER	[Bar]	[Bar]	[Bar]	[Bar]	[Bar]	[Bar]
INSTALL ALL OTHER UTILITIES	[Bar]	[Bar]	[Bar]	[Bar]	[Bar]	[Bar]
SITE CONSTRUCTION & PAVEMENT	[Bar]	[Bar]	[Bar]	[Bar]	[Bar]	[Bar]
PERMANENT EROSION CONTROL MEASURES	[Bar]	[Bar]	[Bar]	[Bar]	[Bar]	[Bar]
FINISH GRADING	[Bar]	[Bar]	[Bar]	[Bar]	[Bar]	[Bar]
LANDSCAPING	[Bar]	[Bar]	[Bar]	[Bar]	[Bar]	[Bar]

DISTURBED AREA = 23.97± ACRES



3 WORKING DAYS (72 HOURS) BEFORE YOU DIG CALL MISS DIG 811 (CALL-FREE) FOR THE LOCATION OF UNDERGROUND UTILITIES



NO.	REVISION/ISSUE	DATE

SHEET TITLE:
SOIL EROSION CONTROL PLAN

4344 SILVER LAKE ROAD
LINDEN, MI 48451
OFFICE: (810)750-5280
EMAIL: 1996LEPC@GMAIL.COM

LAWRENCE ENGINEERING P.C.
ENGINEERING

PROJECT:
QUEEN'S MEADOWS
MIKE DE MIL
48991 JEFFERSON
CHESTERFIELD, MI 48047
(586)980-2079

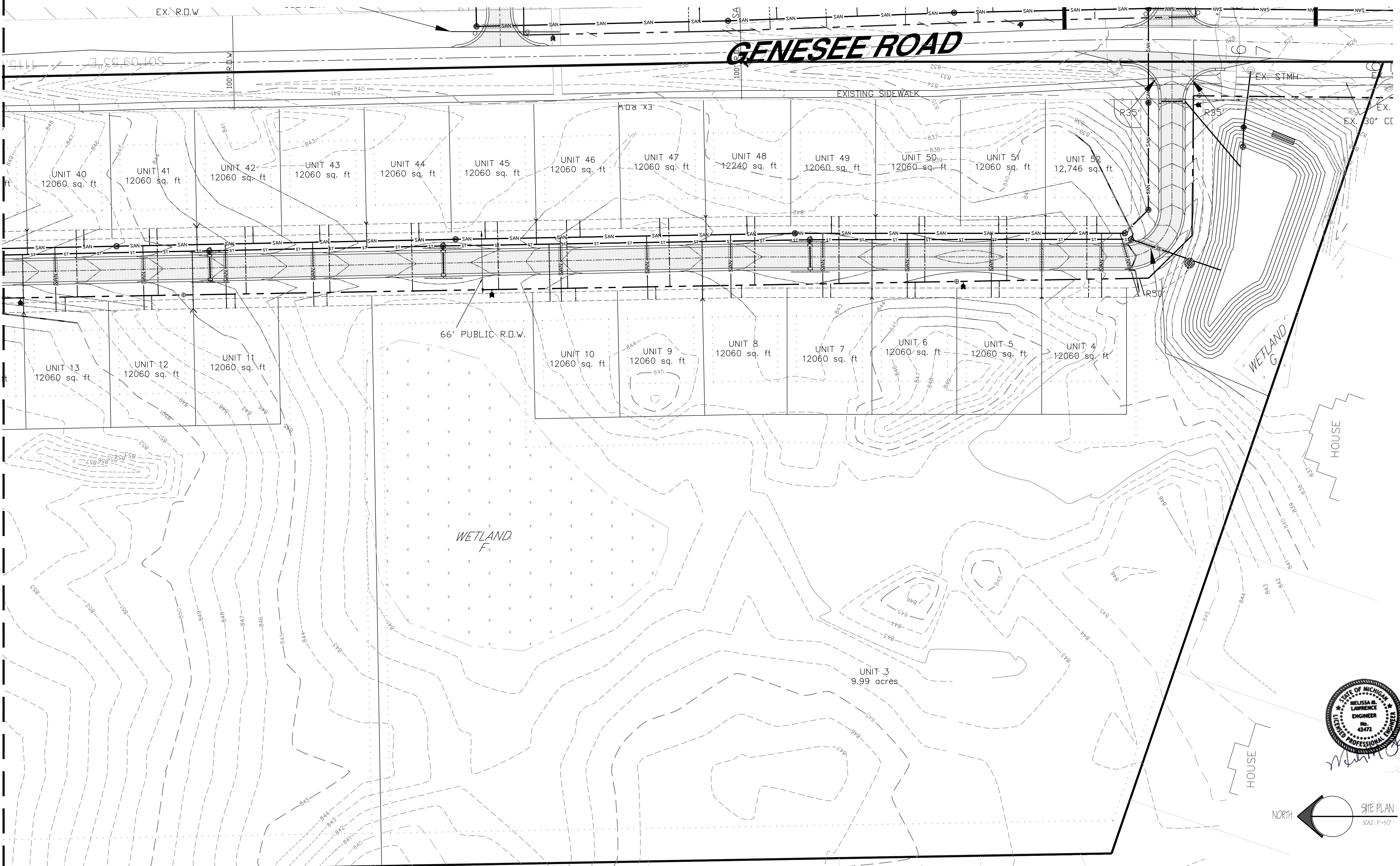
JOB NO.:	SHEET:
2022-001B	6 OF 27
DATE:	DRAWN BY:
4/3/2023	BLB
CHECKED BY:	MML

MATCH TO SHEET B

844

LEGEND

- EXISTING CONTOUR LINE
- EXISTING STORM CATCH BASIN
- EXISTING STORM STRUCTURE
- EXISTING STORM WATER LINE
- PROPOSED STORM CATCH BASIN
- PROPOSED STORM MAN-HOLE
- PROPOSED STORM WATER LINE
- EXISTING SANITARY SEWER MAN-HOLE
- EXISTING 27" SANITARY SEWER INTERCEPTOR
- PROPOSED SANITARY SEWER MAN-HOLE
- PROPOSED 8" SANITARY SEWER
- EXISTING WATERMAIN
- EXISTING FIRE HYDRANT
- EXISTING WATERMAIN VALVE
- PROPOSED 8" WATERMAIN
- PROPOSED FIRE HYDRANT
- EXISTING TREE LINE
- EXISTING TREE



NO.	REVISION/ISSUE	DATE

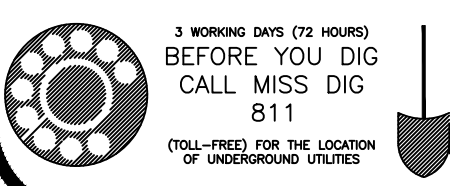
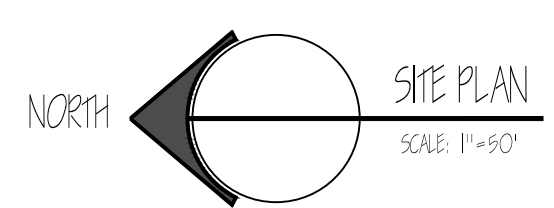
SHEET TITLE:
 SITE PLAN
 ZOE LANE SOUTH

4344 SILVER LAKE
 ROAD
 LINDEN, MI 48451
 OFFICE: (810) 750-5280
 EMAIL: 1996LEPC@GMAIL.COM

LAWRENCE ENGINEERING P.C.
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PROJECT:
 QUEEN'S MEADOWS
 MIKE DE MIL
 48991 JEFFERSON
 CHESTERFIELD, MI 48047
 (586) 980-2079

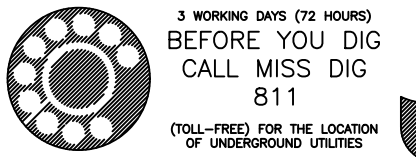
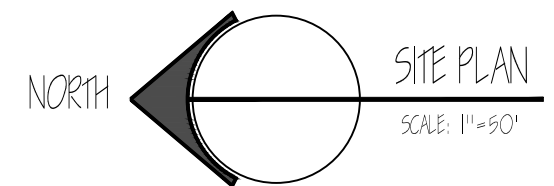
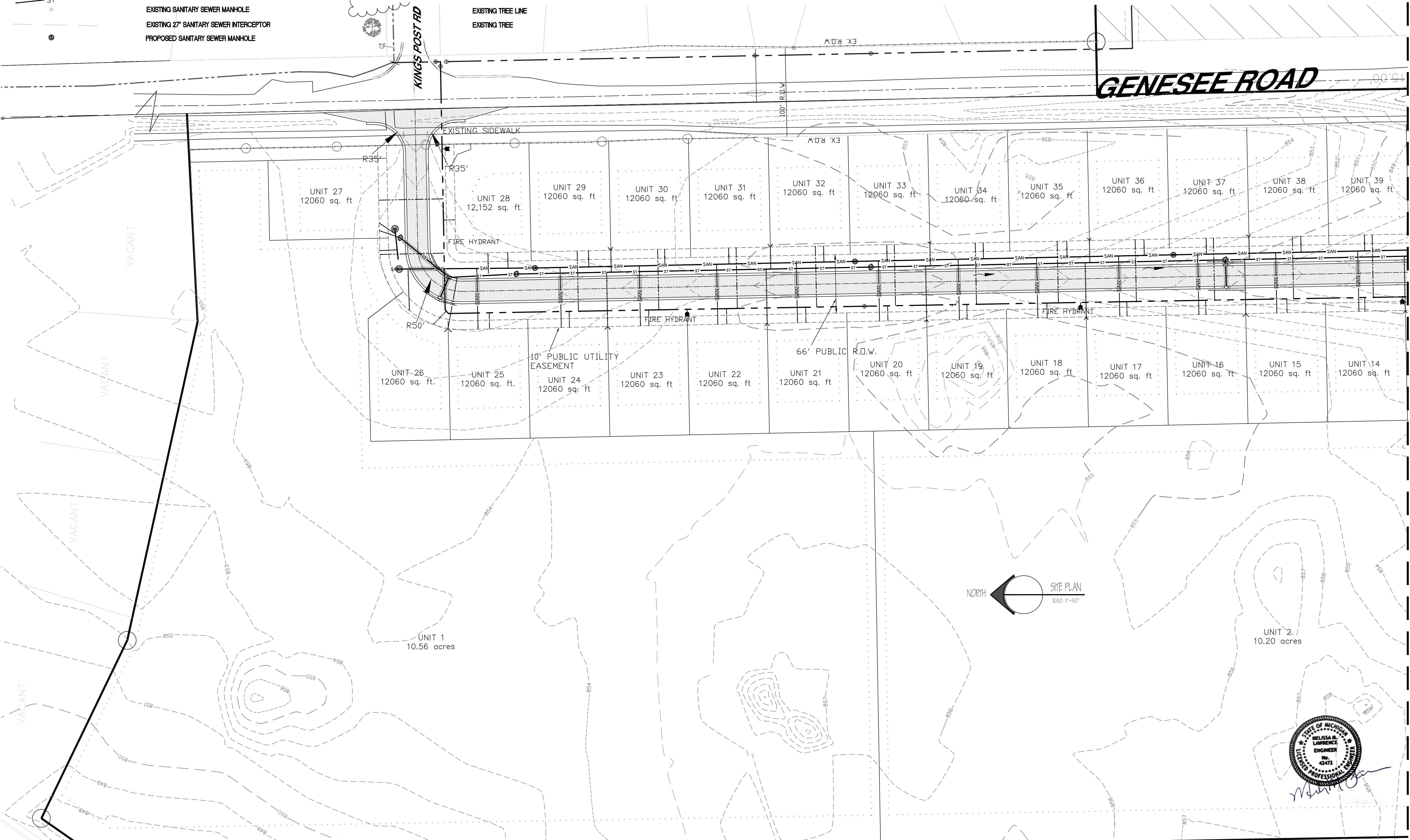
JOB NO.: 2022-001B
 DATE: 4/3/2023
 DRAWN BY: BLB
 CHECKED BY: MML
 SHEET: 7 OF 27



844

LEGEND

- EXISTING CONTOUR LINE
- EXISTING STORM CATCH BASIN
- EXISTING STORM STRUCTURE
- EXISTING STORM WATER LINE
- PROPOSED STORM CATCH BASIN
- PROPOSED STORM MANHOLE
- PROPOSED STORM WATER LINE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING 27" SANITARY SEWER INTERCEPTOR
- PROPOSED SANITARY SEWER MANHOLE
- PROPOSED 8" SANITARY SEWER
- EXISTING WATERMAIN
- EXISTING FIRE HYDRANT
- EXISTING WATERMAIN VALVE
- PROPOSED 8" WATERMAIN
- PROPOSED FIRE HYDRANT
- EXISTING TREE LINE
- EXISTING TREE



MATCH TO SHEET 7

NO.	REVISION/ISSUE	DATE

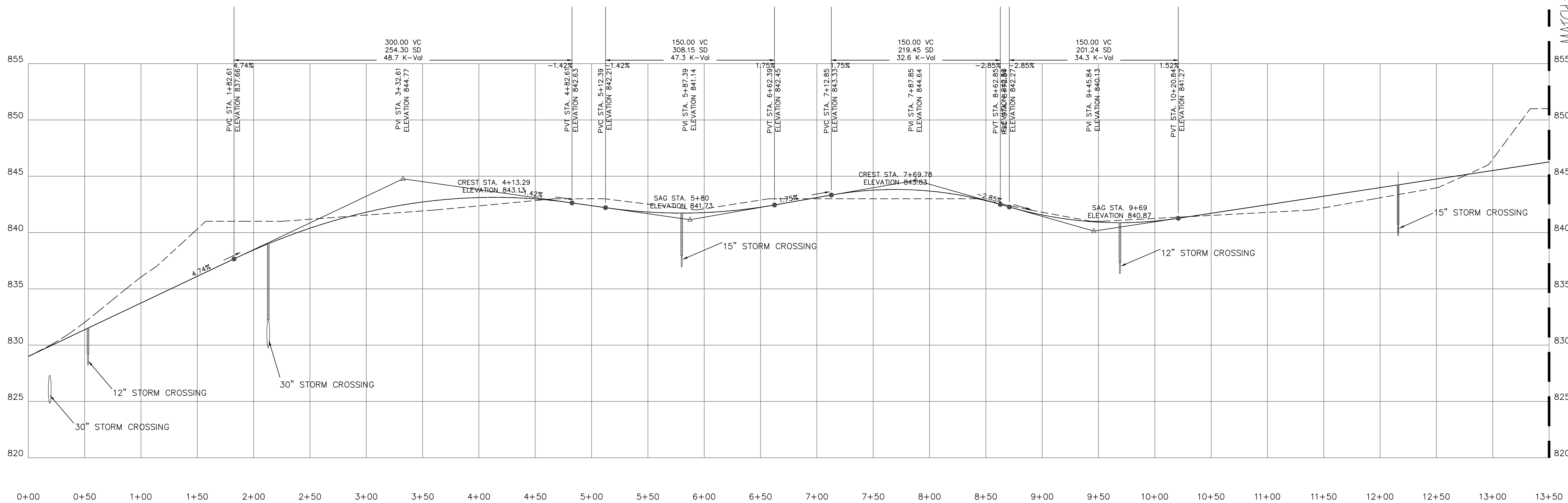
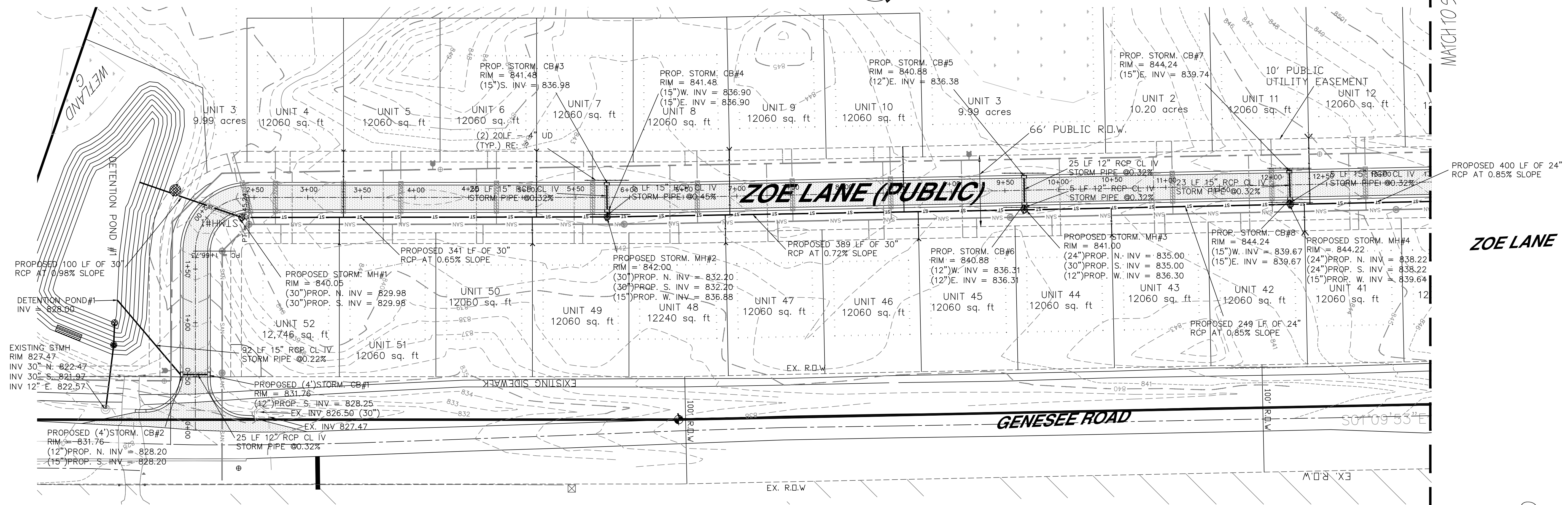
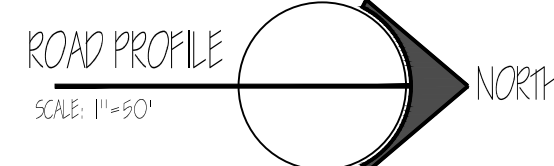
SHEET TITLE:
SITE PLAN
 ZOE LANE NORTH

PROJECT:
 4344 SILVER LAKE ROAD
 LINDEN, MI 48451
 OFFICE: (810)750-5280
 EMAIL: 1996LEPC@GMAIL.COM

LAWRENCE ENGINEERING P.C.
 ENGINEERING

PROJECT:
 QUEEN'S MEADOWS
 MIKE DE MIL
 48991 JEFFERSON
 CHESTERFIELD, MI 48047
 (586)980-2079

JOB NO.:	2022-001B
DATE:	4/3/2023
DRAWN BY:	BLB
CHECKED BY:	MML
SHEET:	8 OF 27



ZOE LANE PROFILE
 STA 00+00 - STA 13+50
 SCALE:
 HOR: 1" = 50'
 VERT: 1" = 5'

- NOTES:
- FOR STANDARD NOTES REFER TO SHEETS 3 AND 22
 - SAND BACKFILL (MDOT CLASSII) COMPACTED TO 95% DENSITY
 - PROVIDE MINIMUM 18" VERTICAL CLEARANCE BETWEEN UTILITIES



NO.	REVISION/ISSUE	DATE

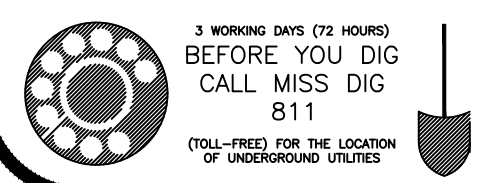
SHEET TITLE:
 ROAD PROFILE
 ZOE LANE
 STA 00+00 TO 13+50

4344 SILVER LAKE
 ROAD
 LINDEN, MI 48451
 OFFICE: (810)750-5280
 EMAIL: 1996LEPC@GMAIL.COM

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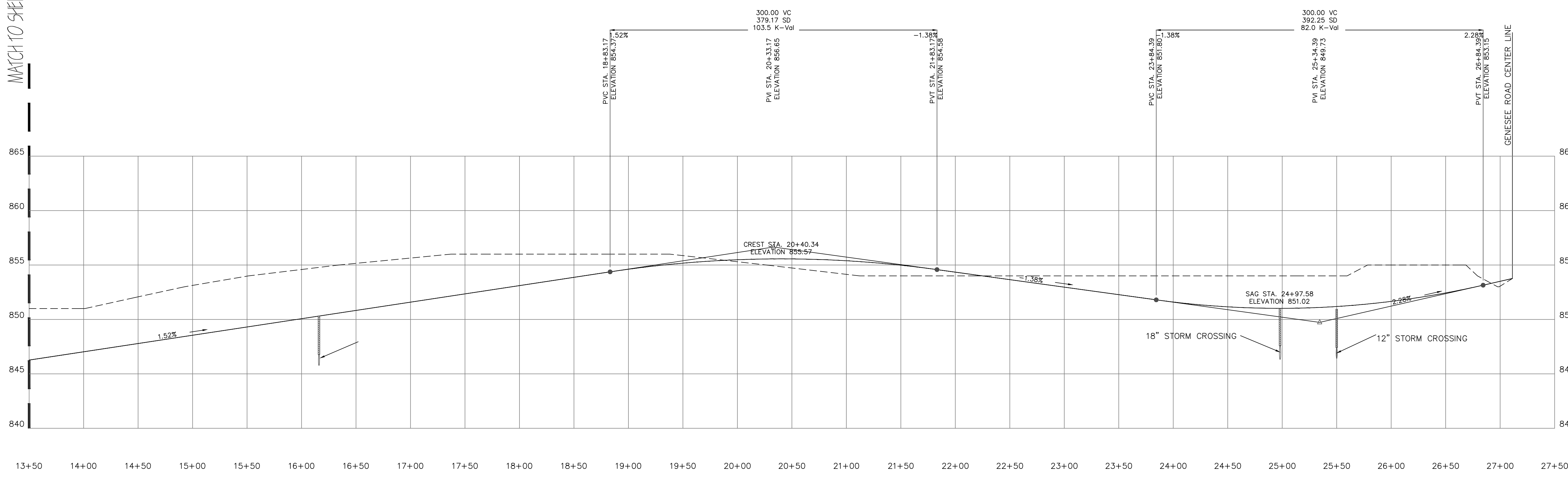
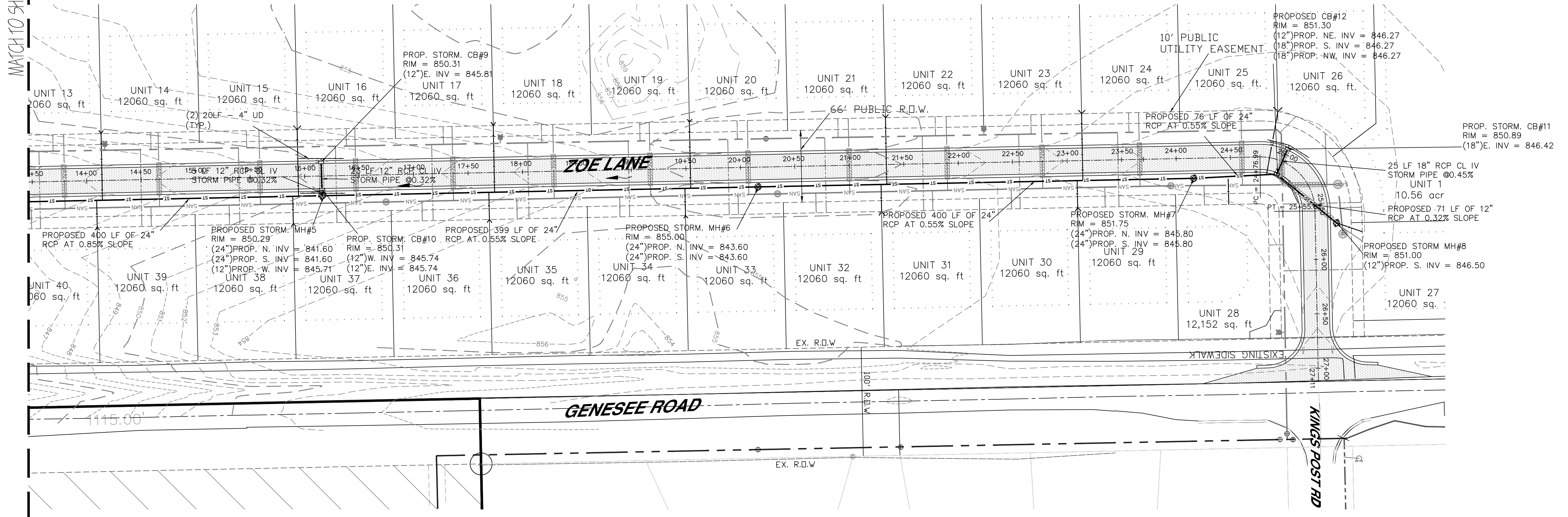
PROJECT:
 QUEEN'S MEADOWS
 MIKE DE MIL
 48991 JEFFERSON
 CHESTERFIELD, MI 48047
 (586)980-2079

JOB NO.: 2022-001B
 DATE: 4/3/2023
 DRAWN BY: BLB
 CHECKED BY: MML
 SHEET: 9 OF 27



MATCH TO SHEET 9

MATCH TO SHEET 9



ZOE LANE PROFILE
STA 13+50 - STA 27+50
SCALE:
HOR: 1" = 50'
VERT: 1" = 5'

- NOTES:
- FOR STANDARD NOTES REFER TO SHEETS 3 AND 22
 - SAND BACKFILL (MDOT CLASSII) COMPACTED TO 95% DENSITY
 - PROVIDE MINIMUM 18" VERTICAL CLEARANCE BETWEEN UTILITIES

NO.	REVISION/ISSUE	DATE

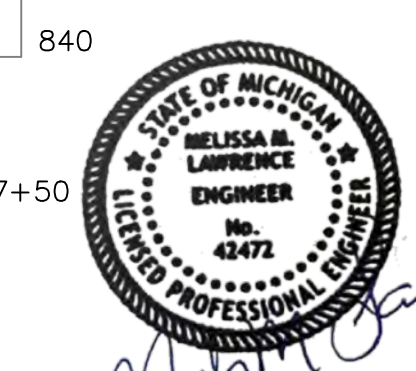
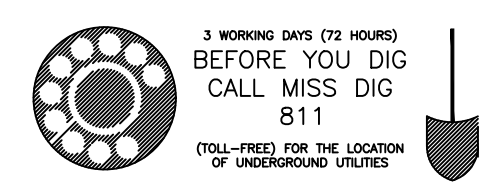
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ROAD PROFILE
ZOE LANE
STA 13+50 TO 27+50

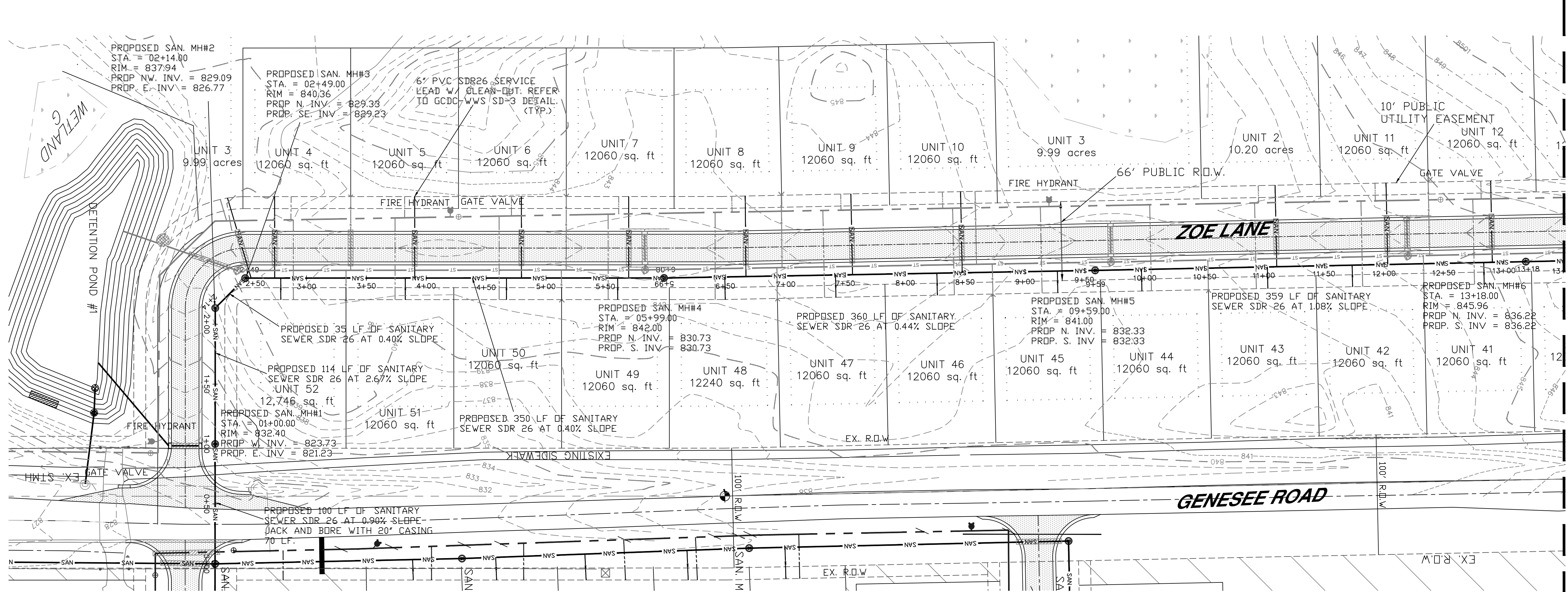
PROJECT:
4344 SILVER LAKE
ROAD
LINDEN, MI 48451
OFFICE: (810) 750-5280
EMAIL: 1996LEPC@GMAIL.COM

LAWRENCE ENGINEERING P.C.
ENGINEERING

PROJECT:
QUEEN'S MEADOWS
MIKE DE MIL
48991 JEFFERSON
CHESTERFIELD, MI 48047
(586) 980-2079

JOB NO.: 2022-001B
DATE: 4/3/2023
DRAWN BY: BLB
CHECKED BY: MML
SHEET: 10 OF 27





MATCH TO SHEET 12

HOUSE LEAD SCHEDULE				
LOT	IE AT END	LF - 6" (TOTAL)	LF - SAND BACKFILL	DISTANCE UPGRADE
3	831.04	70	35	5
4	831.010	68	30	25
52	830.64	18	-	33
51	831.04	18	-	134
5	831.57	68	30	141
50	831.38	18	-	218
6	831.94	68	30	231
49	831.76	18	-	311
7	832.30	68	30	320
				MANHOLE 3
8	832.13	18	-	51
8	832.71	68	30	68
47	832.54	18	-	143
9	833.11	68	30	158
46	832.93	18	-	228
10	833.52	68	30	249
45	833.38	18	-	329
				MANHOLE 4
44	833.89	18	-	39
43	835.65	18	-	144
2	835.64	68	30	152
42	835.82	18	-	215
11	836.67	68	30	244
41	837.02	18	-	325
12	837.60	68	30	332
				MANHOLE 5

NO.	REVISION/ISSUE	DATE

SHEET TITLE:
SANITARY PROFILE
ZOE LANE
STA 00+00 TO 13+50

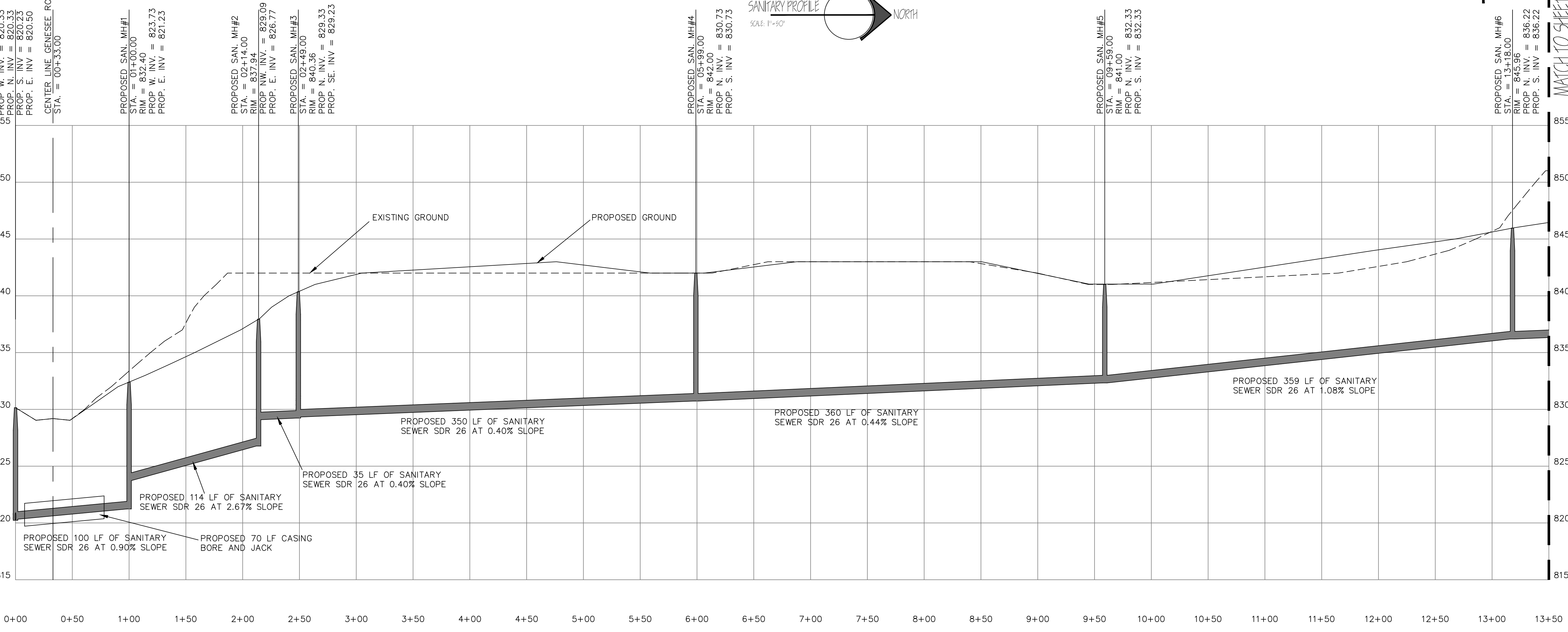
PROJECT:
4344 SILVER LAKE ROAD
LINDEN, MI 48451
OFFICE: (810) 750-5280
EMAIL: 1996LEPC@GMAIL.COM

LAWRENCE ENGINEERING P.C.
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PROJECT:
QUEEN'S MEADOWS
MIKE DE MIL
48991 JEFFERSON
CHESTERFIELD, MI 48047
(586) 980-2079

SHEET:
2022-001B
DATE: 4/3/2023
DRAWN BY: BLB
CHECKED BY: MML
11 OF 27

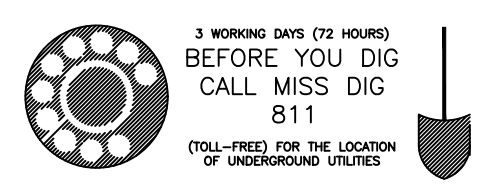
- NOTES:
- FOR STANDARD NOTES REFER TO SHEETS 3 AND 22
 - SAND BACKFILL (MDOT CLASSII) COMPACTED TO 95% DENSITY
 - PROVIDE MINIMUM 18" VERTICAL CLEARANCE BETWEEN UTILITIES



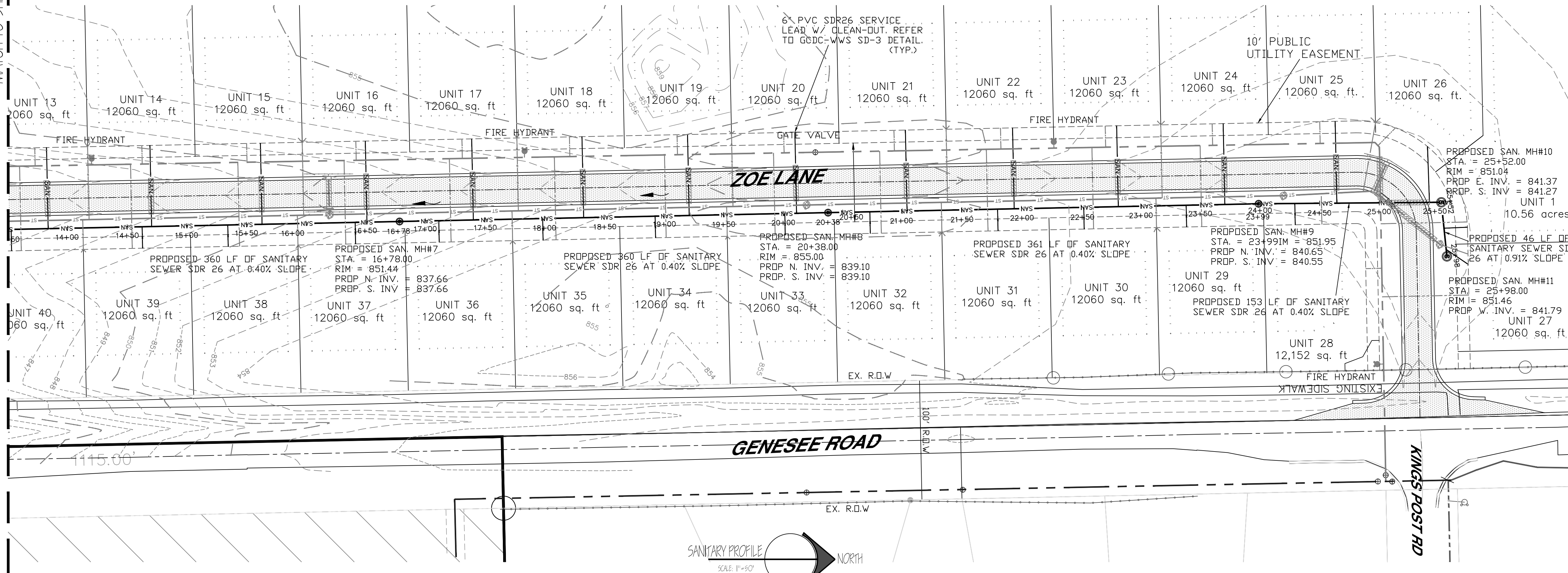
MATCH TO SHEET 12

SANITARY SEWER PROFILE
STA 0+00 - STA 13+50

SCALE:
HOR: 1" = 50'
VERT: 1" = 5'

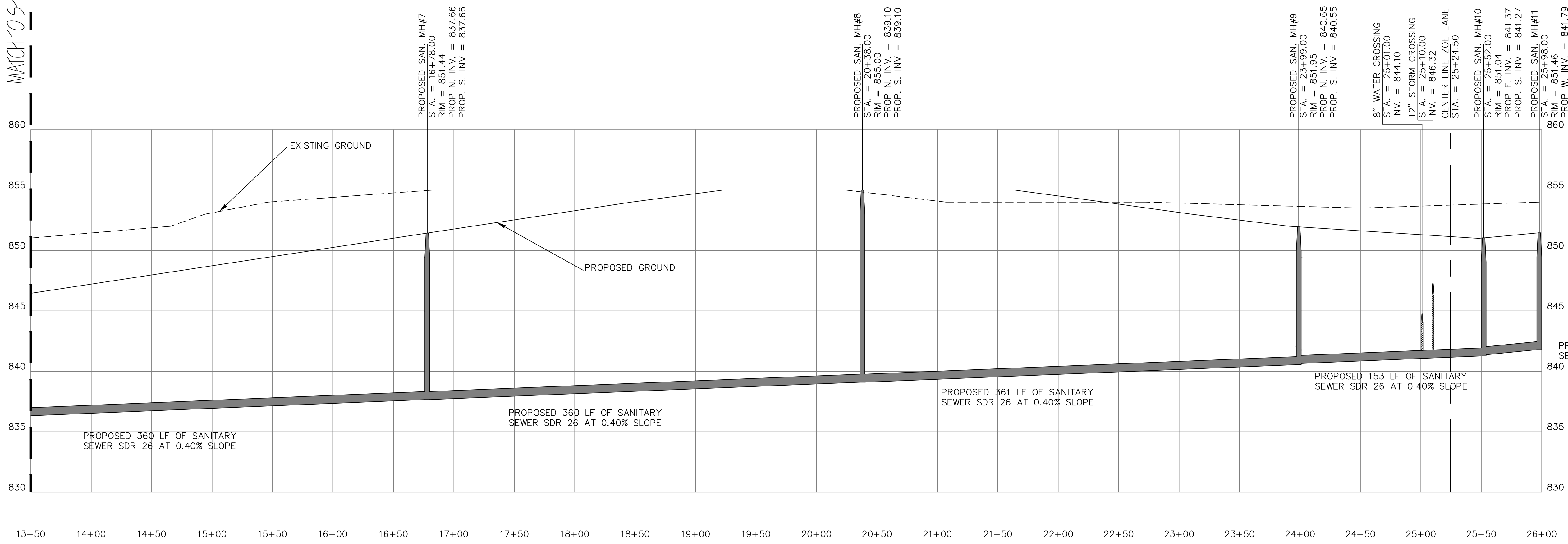


MATCH TO SHEET II



HOUSE LEAD SCHEDULE				
LOT	IE AT END	LF -6" (TOTAL)	LF -SAND BACKFILL	DISTANCE UPGRADE
40	837.50	18	-	34
13	838.13	68	30	65
39	838.95	18	-	144
14	838.49	68	30	152
38	838.25	18	-	216
15	838.87	68	30	245
37	838.69	18	-	323
16	839.23	68	30	333
36	838.96	18	-	33
17	839.57	68	30	62
35	839.31	18	-	120
18	839.95	68	30	155
35	839.69	18	-	214
19	840.31	68	30	243
33	840.13	18	-	323
20	840.67	68	30	333
32	840.40	18	-	35
21	841.03	68	30	66
31	840.87	18	-	142
22	841.37	68	30	156
30	841.13	18	-	214
23	841.75	68	30	243
29	841.25	18	-	300
24	842.11	68	30	333
28	841.94	18	-	30
35	842.59	68	30	66
26	842.71	47	30	143
1	842.77	20	-	22
27	842.97	22	-	40

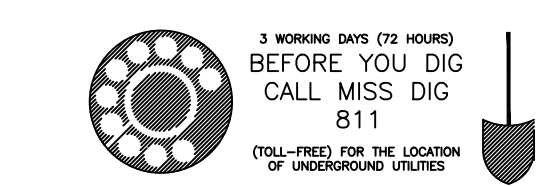
MATCH TO SHEET II



SANITARY SEWER PROFILE
STA 13+50 - STA 26+00

SCALE:
HOR: 1" = 50'
VERT: 1" = 5'

- NOTES:
- FOR STANDARD NOTES REFER TO SHEETS 3 AND 22
 - SAND BACKFILL (MDOT CLASSII) COMPACTED TO 95% DENSITY
 - PROVIDE MINIMUM 18" VERTICAL CLEARANCE BETWEEN UTILITIES



NO.	REVISION/ISSUE	DATE

SHEET TITLE:
SANITARY PROFILE
ZOE LANE
STA 13+50 TO 26+00

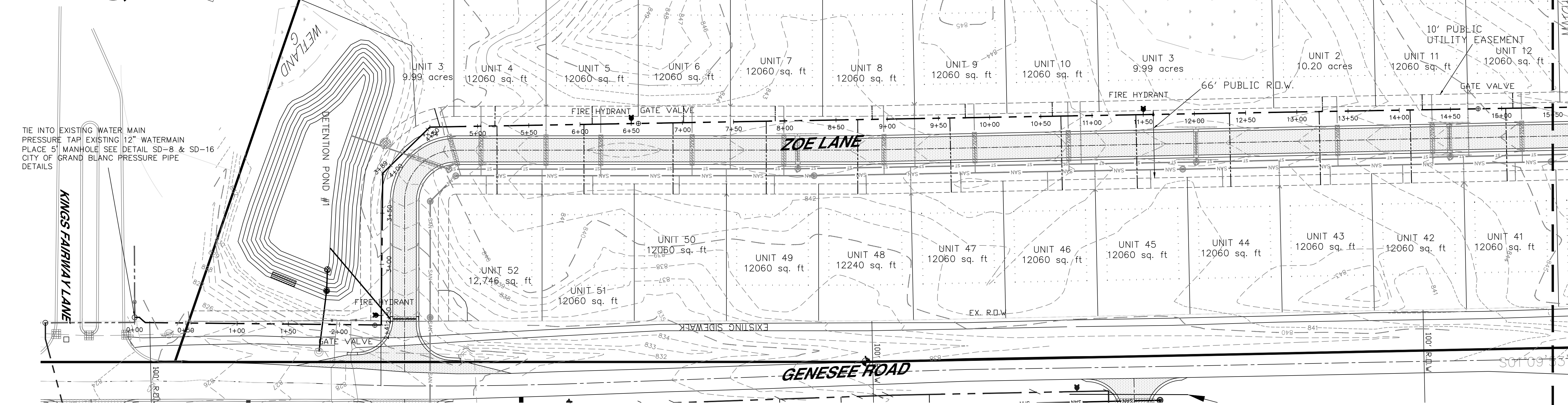
PROJECT:
4344 SILVER LAKE
ROAD
LINDEN, MI 48451
OFFICE: (810)750-5280
EMAIL: 1996LEPC@GMAIL.COM

LAWRENCE ENGINEERING P.C.
ENGINEERING

PROJECT:
QUEEN'S MEADOWS
MIKE DE MIL
48991 JEFFERSON
CHESTERFIELD, MI 48047
(586)980-2079

JOB NO.: 2022-001B
DATE: 4/3/2023
DRAWN BY: BLB
CHECKED BY: MML
SHEET: 12 OF 27

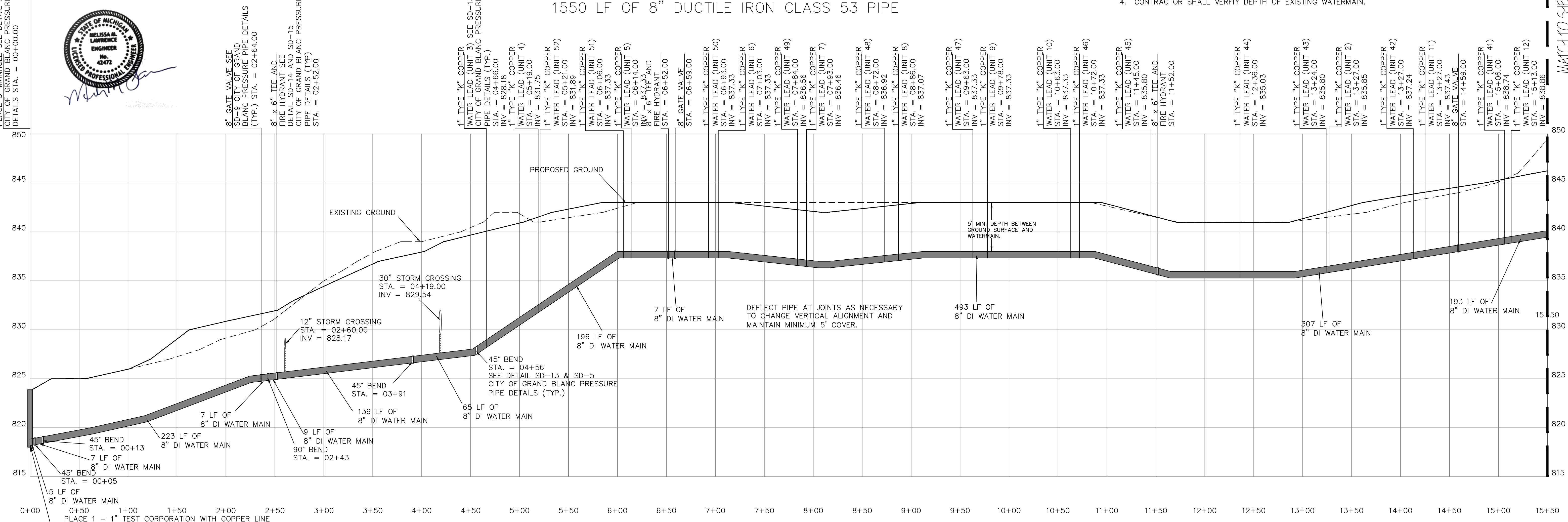
WATER MAIN PROFILE
SCALE: 1"=50'



TOTAL 3014 LF OF 8" DUCTILE IRON CLASS 53 PIPE
1550 LF OF 8" DUCTILE IRON CLASS 53 PIPE

- NOTES:
- FOR STANDARD NOTES REFER TO SHEETS ? AND ?.
 - SAND BACKFILL (MDOT CLASSII) COMPACTED TO 95% DENSITY.
 - PROVIDE MINIMUM 18" VERTICAL CLEARANCE BETWEEN UTILITIES.
 - CONTRACTOR SHALL VERIFY DEPTH OF EXISTING WATERMAIN.

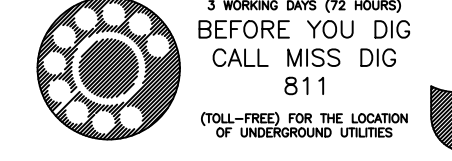
TIE INTO EXISTING WATER MAIN
PRESSURE TAP EXISTING 12" WATERMAIN
PLACE 5" MANHOLE SEE DETAIL SD-8 & SD-16
CITY OF GRAND BLANC PRESSURE PIPE
DETAILS STA. = 00+00.00



WATERMAIN PROFILE
STA 00+00 - STA 15+50

SCALE:
HOR: 1" = 50'
VERT: 1" = 5'

CONTRACTOR SHALL PRESSURE TEST THE WATERMAIN AGAINST PROPOSED VALVE AT THE POINT OF CONNECTION. IF THE VALVE LEAKS, THE CONTRACTOR SHALL MAKE REPAIRS AND REPEAT THE PRESSURE TEST AGAINST THE VALVE.



NO.	REVISION/ISSUE	DATE

SHEET TITLE:
WATERMAIN PROFILE
ZOE LANE
STA 00+00 TO 15+50

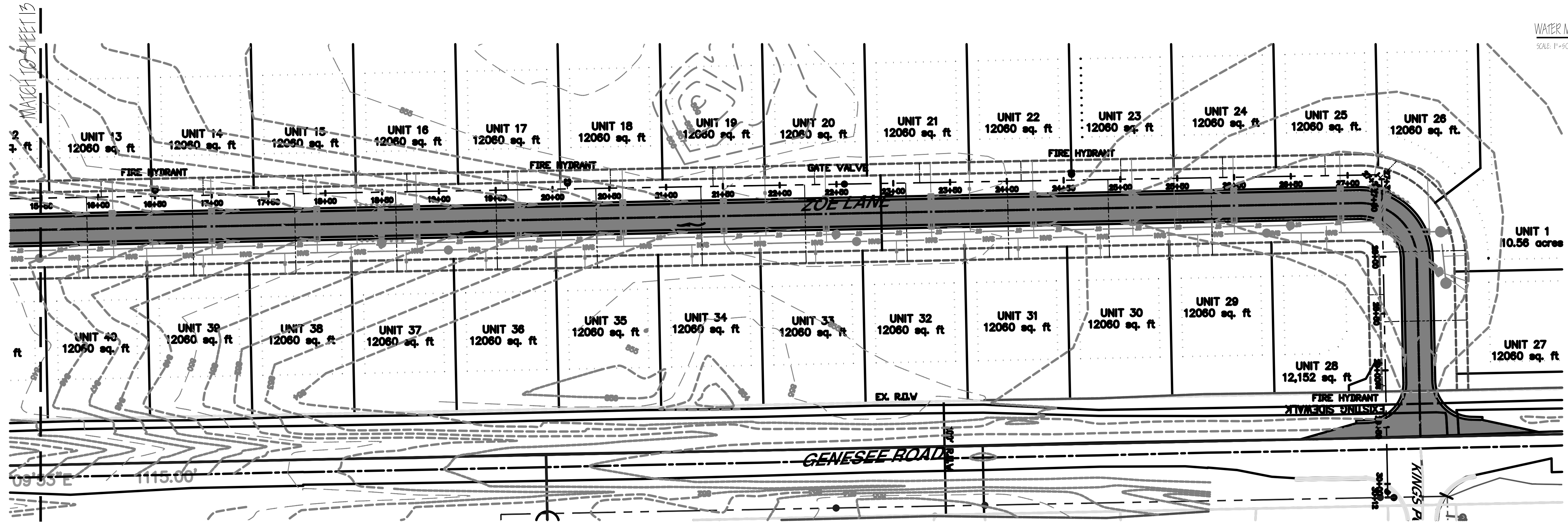
4344 SILVER LAKE
ROAD
LINDEN, MI 48451
OFFICE: (810)750-5280
EMAIL: 1996LEPC@GMAIL.COM

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PROJECT:
QUEEN'S MEADOWS
MIKE DE MIL
48991 JEFFERSON
CHESTERFIELD, MI 48047
(586)980-2079

SHEET:
JOB NO.: 2022-001B
DATE: 4/3/2023
DRAWN BY: BLB
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13 OF 27



WATER MAIN PROFILE
SCALE: 1"=50'



NO.	REVISION/DATE	DATE

SHEET TITLE
WATERMAIN PROFILE
ZOE LANE
STA 15+50 TO 30+50

4344 SILVER LAKE
ROAD
LINDEN, MI 48451
OFFICE: (810)750-5280
EMAIL: INFO@LAWRENCE-PC.COM

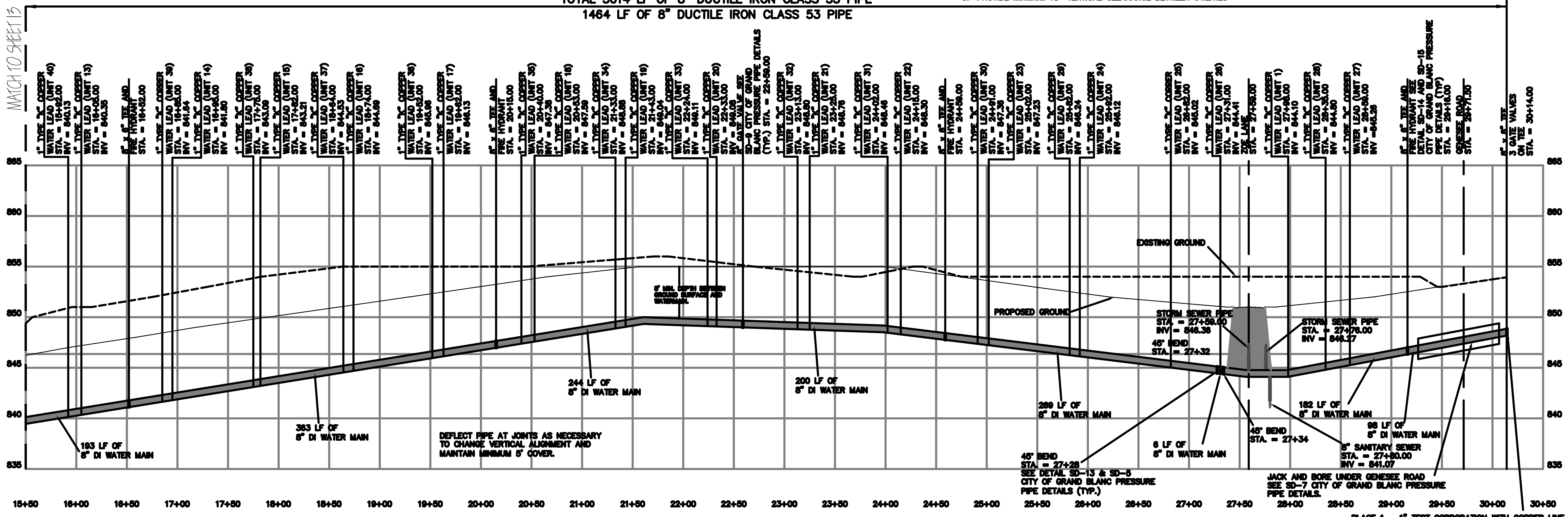
**LAWRENCE
ENGINEERING P.C.**
ENGINEERING

PROJECT:
QUEEN'S MEADOWS
MIKE DE MIL
48991 JEFFERSON
CHESTERFIELD, MI 48047
(586)980-2079

SHEET:
2022-001B
4/3/2023
14 OF 27
DRAWN BY: BLB
CHECKED BY: MML

- NOTES:
- FOR STANDARD NOTES REFER TO SHEETS 3 AND 22
 - SAND BACKFILL (MDOT CLASS) COMPACTED TO 98% DENSITY
 - PROVIDE MINIMUM 18" VERTICAL CLEARANCE BETWEEN UTILITIES

TOTAL 3014 LF OF 8" DUCTILE IRON CLASS 53 PIPE
1464 LF OF 8" DUCTILE IRON CLASS 53 PIPE




















WATERMAIN PROFILE
STA 15+50 - STA 30+50

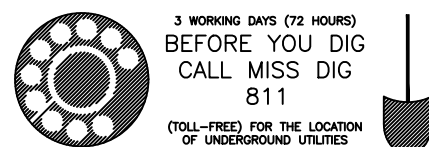
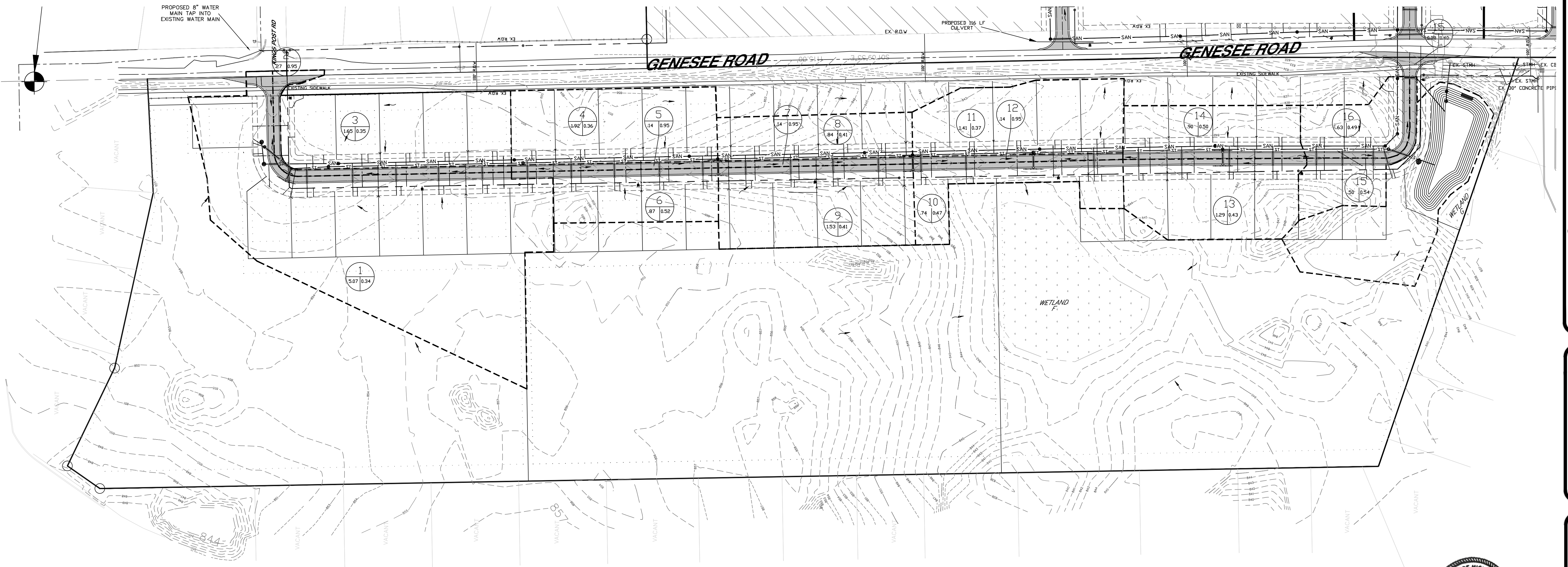
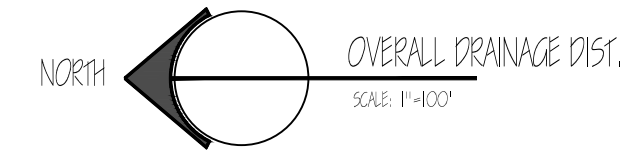
SCALE:
VERT. 1" = 5'

PLACE 1 - 1" TEST CORPORATION WITH COPPER LINE TO SURFACE ON CONSTRUCTION SIDE OF VALVE. 1 - CONNECTION TO EXISTING WATERMAIN.
CONTRACTOR SHALL PRESSURE TEST THE WATERMAIN AGAINST PROPOSED VALVE AT THE POINT OF CONNECTION. IF THE VALVE LEAKS, THE CONTRACTOR SHALL MAKE REPAIRS AND REPEAT THE PRESSURE TEST AGAINST THE VALVE.



LEGEND

-  EXISTING CONTOUR LINE
-  EXISTING STORM STRUCTURE
-  EXISTING STORM WATER LINE
-  PROPOSED STORM CATCH BASIN
-  PROPOSED STORM MANHOLE
-  PROPOSED STORM WATER LINE
-  EXISTING SANITARY SEWER MANHOLE
-  EXISTING 27" SANITARY SEWER INTERCEPTOR
-  PROPOSED SANITARY SEWER MANHOLE
-  PROPOSED 8" SANITARY SEWER
-  EXISTING WATERMAIN
-  EXISTING FIRE HYDRANT
-  EXISTING WATERMAIN VALVE
-  PROPOSED 8" WATERMAIN
-  PROPOSED FIRE HYDRANT
-  EXISTING TREE LINE
-  EXISTING TREE



NO.	REVISION/ISSUE	DATE

SHEET TITLE:
DRAINAGE DISTRICTS
GRADING PLAN

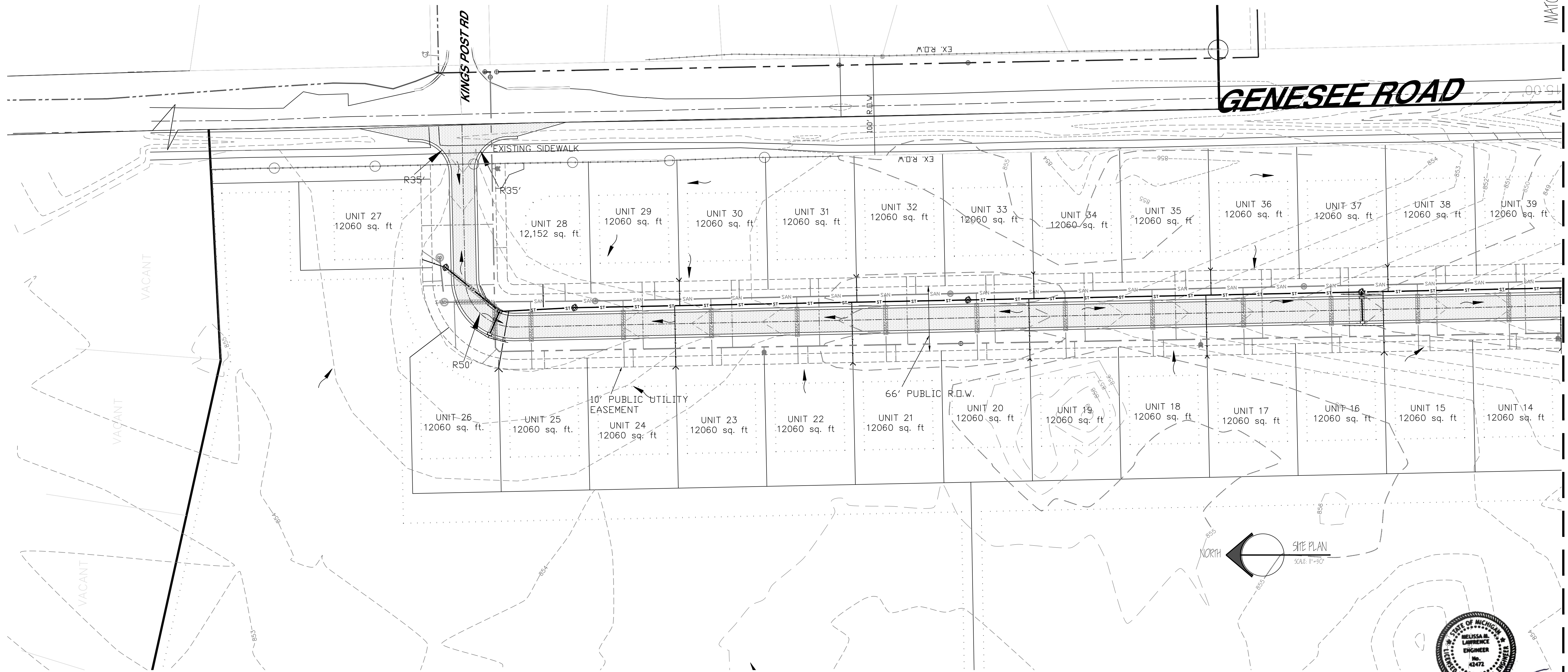
4-344 SILVER LAKE
ROAD
LINDEN, MI 48451
OFFICE: (810)750-5280
EMAIL: 1996LEPC@GMAIL.COM

LAWRENCE ENGINEERING P.C.
ENGINEERING



PROJECT:
QUEEN'S MEADOWS
MIKE DE MIL
48991 JEFFERSON
CHESTERFIELD, MI 48047
(586)980-2079

JOB NO.:	2022-001B
DATE:	4/3/2023
DRAWN BY:	BLB
CHECKED BY:	MML
SHEET:	15 OF 27



MATCH TO SHEET 16

NO.	REVISION/ISSUE	DATE

SHEET TITLE:
STORM PLAN
ZOE LANE NORTH

4-344 SILVER LAKE
 ROAD
 LINDEN, MI 48451
 OFFICE: (810) 750-5280
 EMAIL: 1996LEPC@GMAIL.COM

LAWRENCE
ENGINEERING P.C.
 ENGINEERING



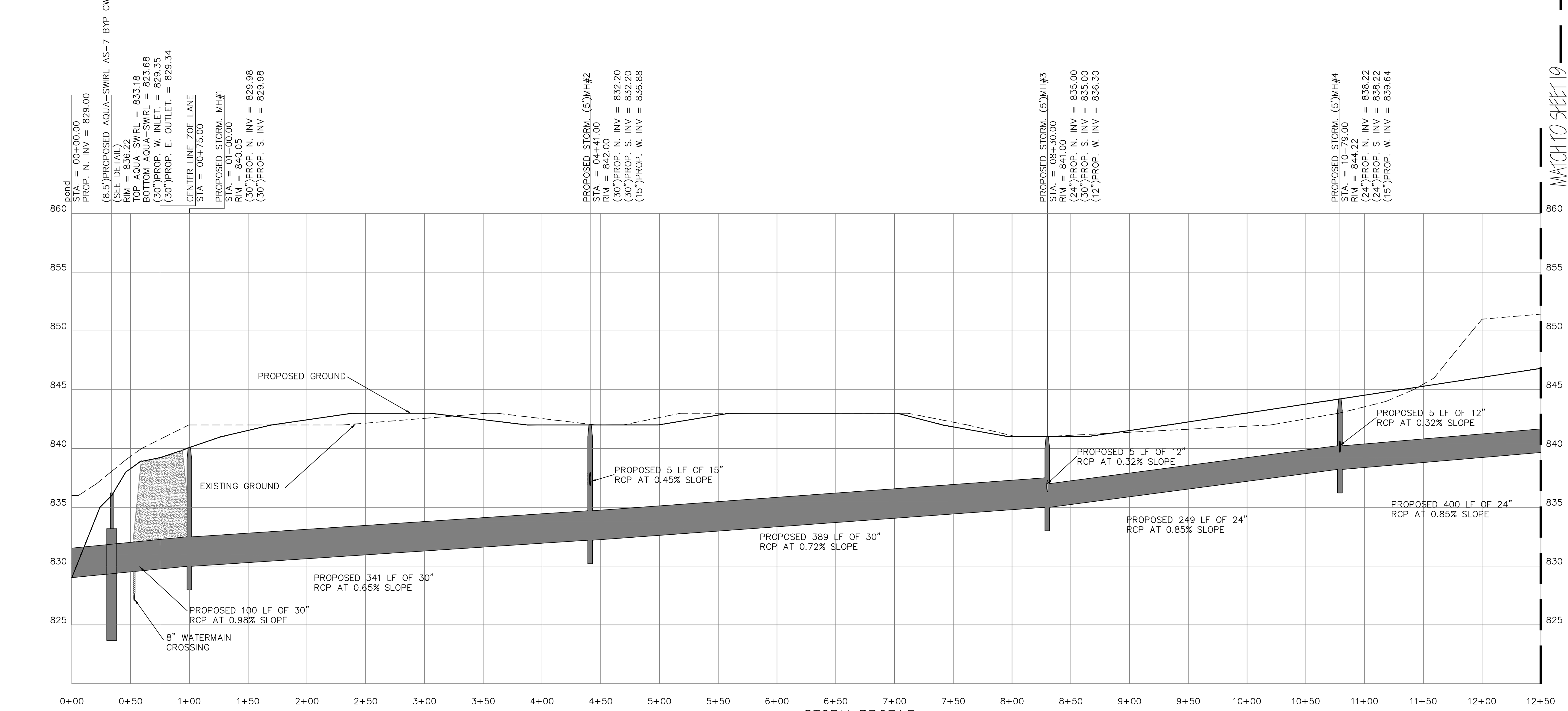
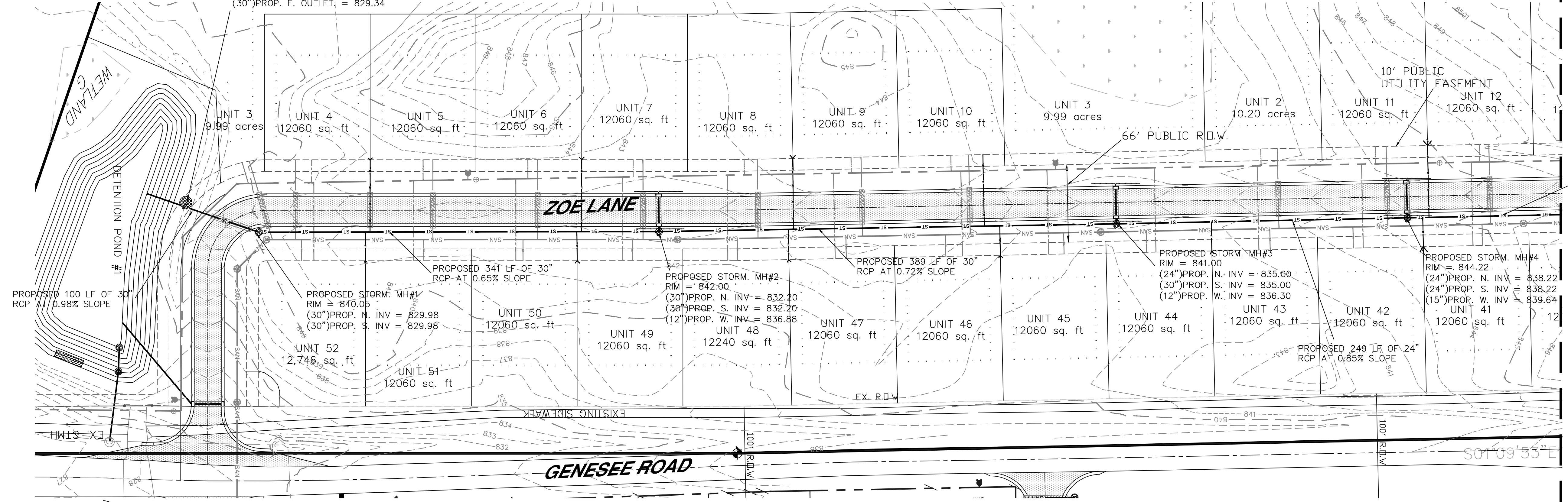
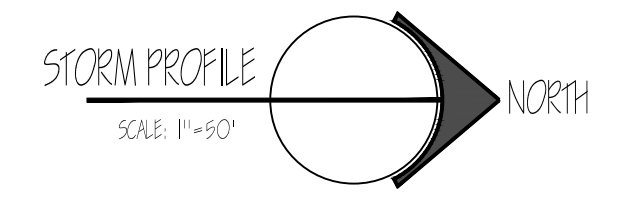
PROJECT:
 QUEEN'S MEADOWS
 MIKE DE MIL
 48991 JEFFERSON
 CHESTERFIELD, MI 48047
 (586) 980-2079

JOB NO.: 2022-001B
 SHEET: 17 OF 27
 DATE: 4/3/2023
 DRAWN BY: BLB
 CHECKED BY: MML



3 WORKING DAYS (72 HOURS)
 BEFORE YOU DIG
 CALL MISS DIG
 811
 (FOR LIST) FOR THE LOCATION
 OF UNDERGROUND UTILITIES

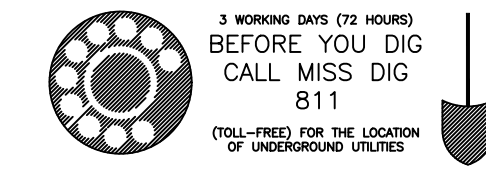
(8.5")PROPOSED AQUA-SWIRL AS-7 BYP CW
(SEE DETAIL)
RIM = 836.22
TOP AQUA-SWIRL = 833.18
BOTTOM AQUA-SWIRL = 823.68
(30")PROP. W. INLET = 829.35
(30")PROP. E. OUTLET = 829.34



STORM PROFILE
STA 00+00 - STA 12+50
SCALE: HOR: 1" = 50'
VERT: 1" = 5'

SUMP LEAD SCHEDULE			
LOT	IE AT END	LOT	IE AT END
51-52	830.82	37-38	841.63
4-5	831.21	15-16	842.04
49-50	832.00	35-36	842.61
6-7	832.40	17-18	843.01
47-48	833.24	33-34	843.52
8-9	833.64	19-20	843.92
10	834.20	31-32	844.47
45-46	834.30	21-22	844.86
43-44	836.29	29-30	845.47
41-42	838.31	23-24	845.86
11-12	838.98	28	846.59
39-40	840.09	25-26	846.79
13-14	840.50	27	847.00

- NOTES:
- FOR STANDARD NOTES REFER TO SHEETS 3 AND 22
 - SAND BACKFILL (MDO CLASSII) COMPACTED TO 95% DENSITY
 - PROVIDE MINIMUM 18" VERTICAL CLEARANCE BETWEEN UTILITIES



NO.	REVISION/ISSUE	DATE

SHEET TITLE:
STORM PROFILE
ZOE LANE
STA 00+00 TO 12+50

4344 SILVER LAKE
ROAD
LINDEN, MI 48451
OFFICE: (810)750-5280
EMAIL: 1996LEPC@GMAIL.COM

LAWRENCE ENGINEERING P.C.
ENGINEERING

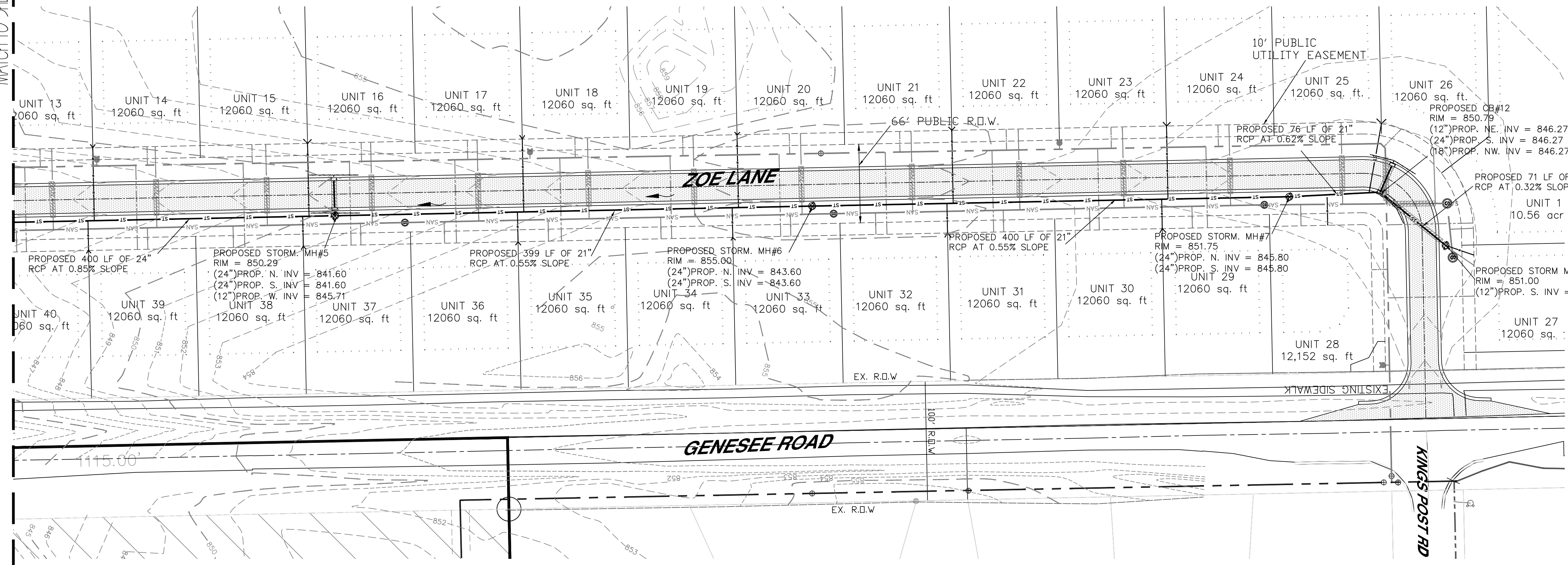
PROJECT:
QUEEN'S MEADOWS
MIKE DE MIL
48991 JEFFERSON
CHESTERFIELD, MI 48047
(586)980-2079

JOB NO.: 2022-001B
DATE: 4/3/2023
DRAWN BY: BLB
CHECKED BY: MML
SHEET: 18 OF 27

MATCH TO SHEET 18

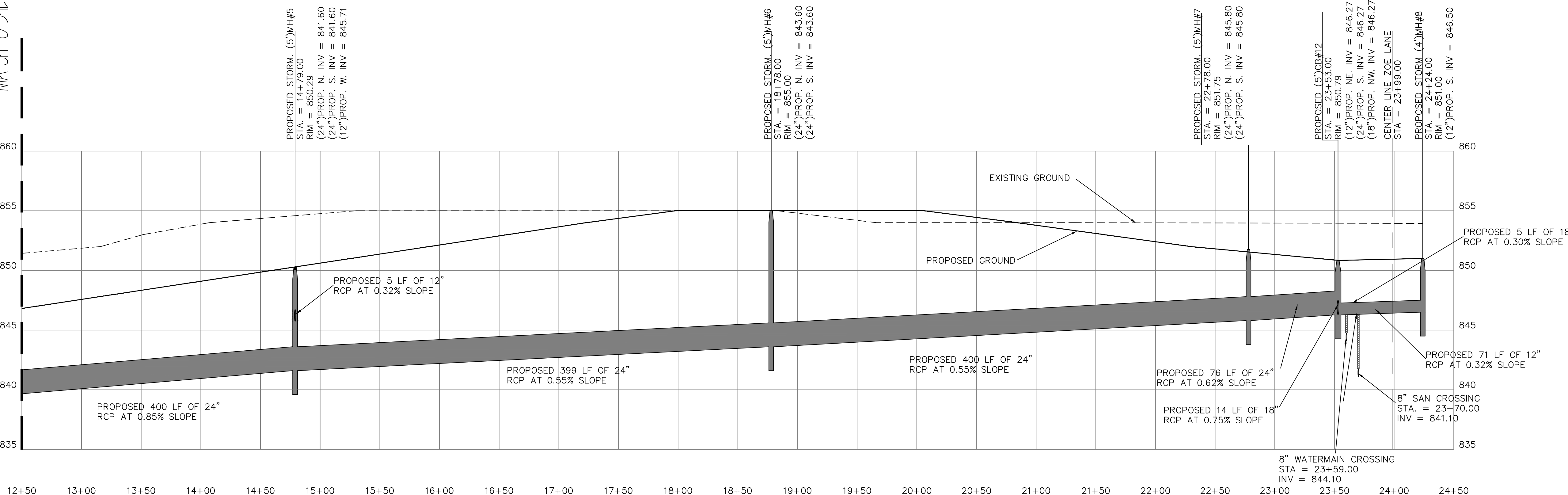
MATCH TO SHEET 18

STORM PROFILE
SCALE: 1" = 50'
NORTH



SUMP LEAD SCHEDULE

LOT	IE AT END	LOT	IE AT END
51-52	830.82	37-38	841.63
4-5	831.21	15-16	842.04
49-50	832.00	35-36	842.61
6-7	832.40	17-18	843.01
47-48	833.24	33-34	843.52
8-9	833.64	19-20	843.92
10	834.20	31-32	844.47
45-46	834.30	21-22	844.86
43-44	836.29	29-30	845.47
41-42	838.31	23-24	845.86
11-12	838.98	28	846.59
39-40	840.09	25-26	846.79
13-14	840.50	27	847.00

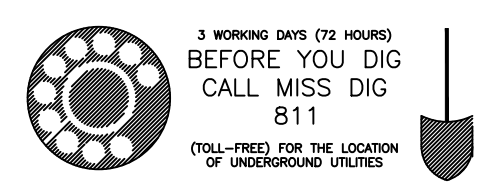


STORM PROFILE
STA 12+50 - STA 24+50

SCALE:
HOR: 1" = 50'
VERT: 1" = 5'



- NOTES:
- FOR STANDARD NOTES REFER TO SHEETS 3 AND 22
 - SAND BACKFILL (MDOT CLASSII) COMPACTED TO 95% DENSITY
 - PROVIDE MINIMUM 18" VERTICAL CLEARANCE BETWEEN UTILITIES



NO.	REVISION/ISSUE	DATE

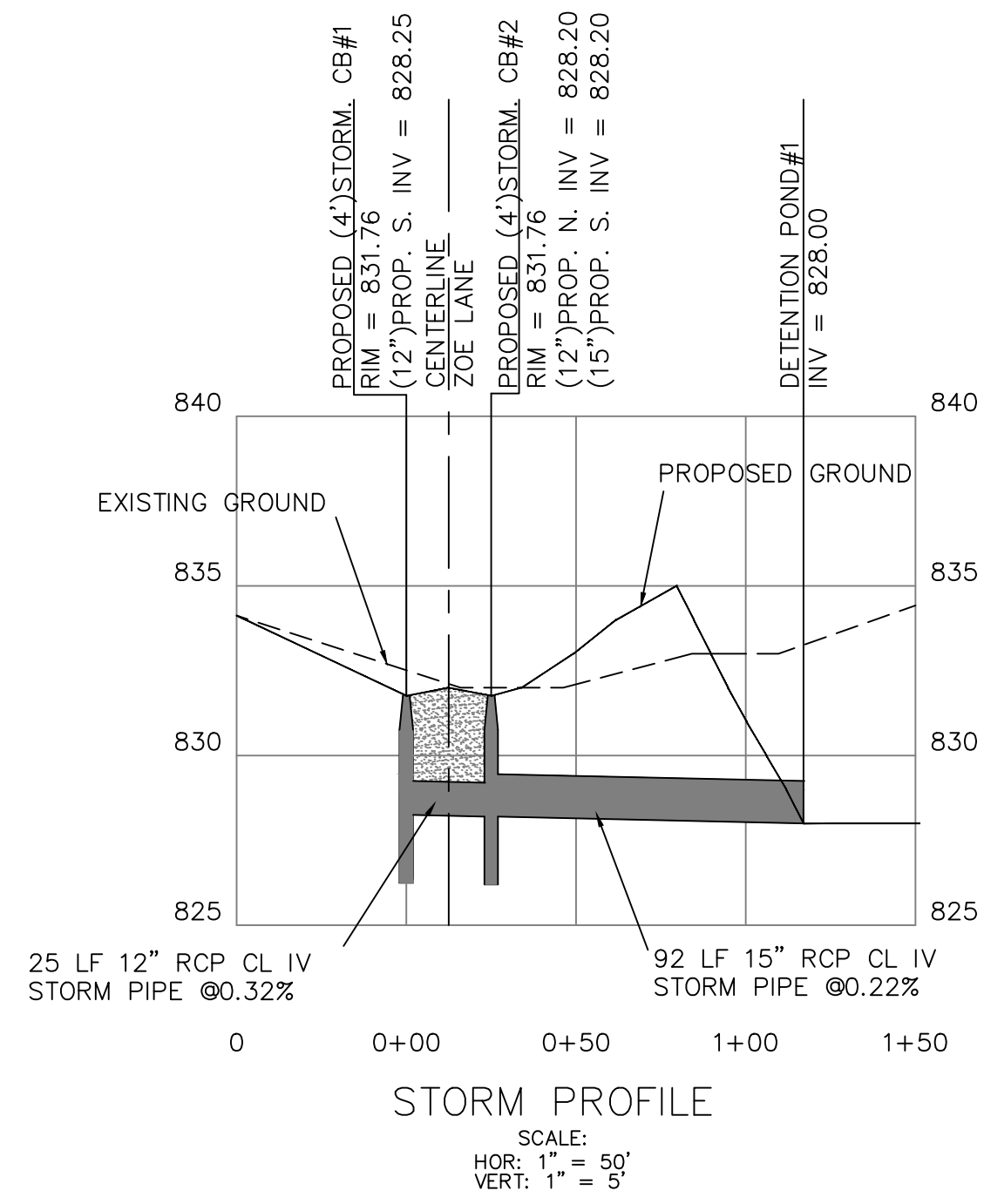
SHEET TITLE:
STORM PROFILE
ZOE LANE
STA 12+50 TO 24+50

PROJECT:
4344 SILVER LAKE
ROAD
LINDEN, MI 48451
OFFICE: (810)750-5280
EMAIL: 1996LEPC@GMAIL.COM

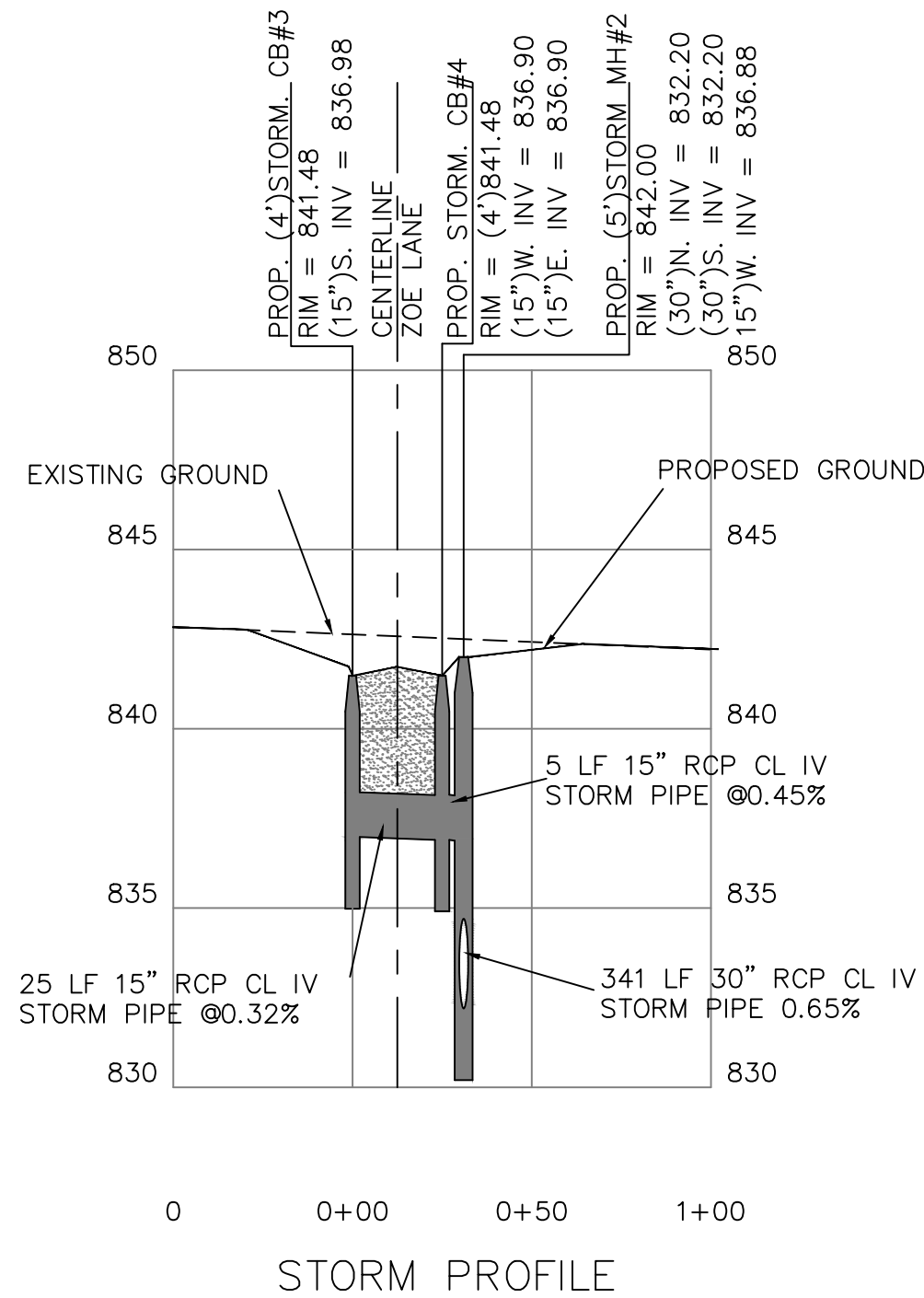
LAWRENCE ENGINEERING P.C.
ENGINEERING

PROJECT:
QUEEN'S MEADOWS
MIKE DE MIL
48991 JEFFERSON
CHESTERFIELD, MI 48047
(586)980-2079

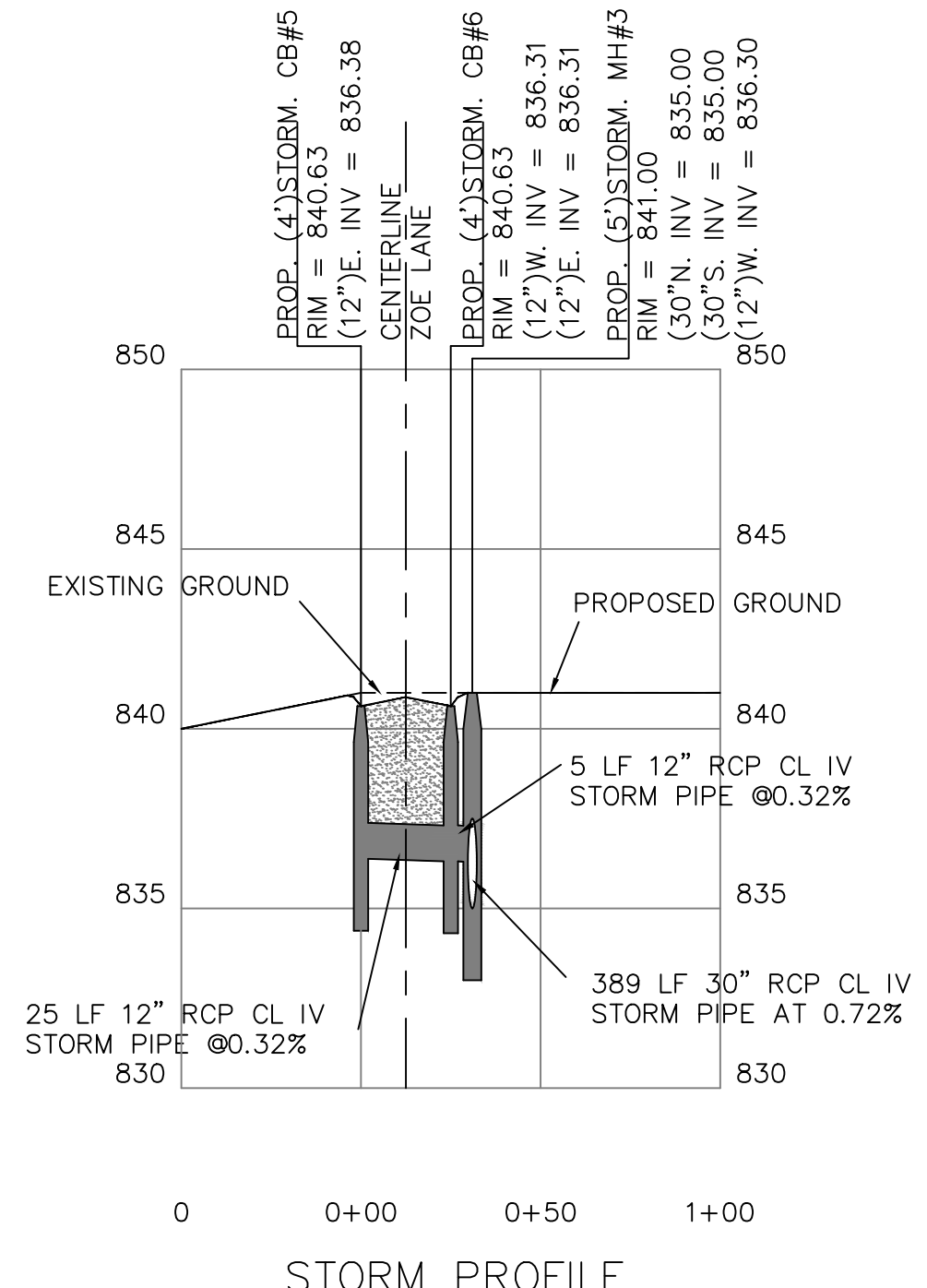
JOB NO.:	SHEET:
2022-001B	19 OF 27
DATE:	4/3/2023
DRAWN BY:	BLB
CHECKED BY:	MML



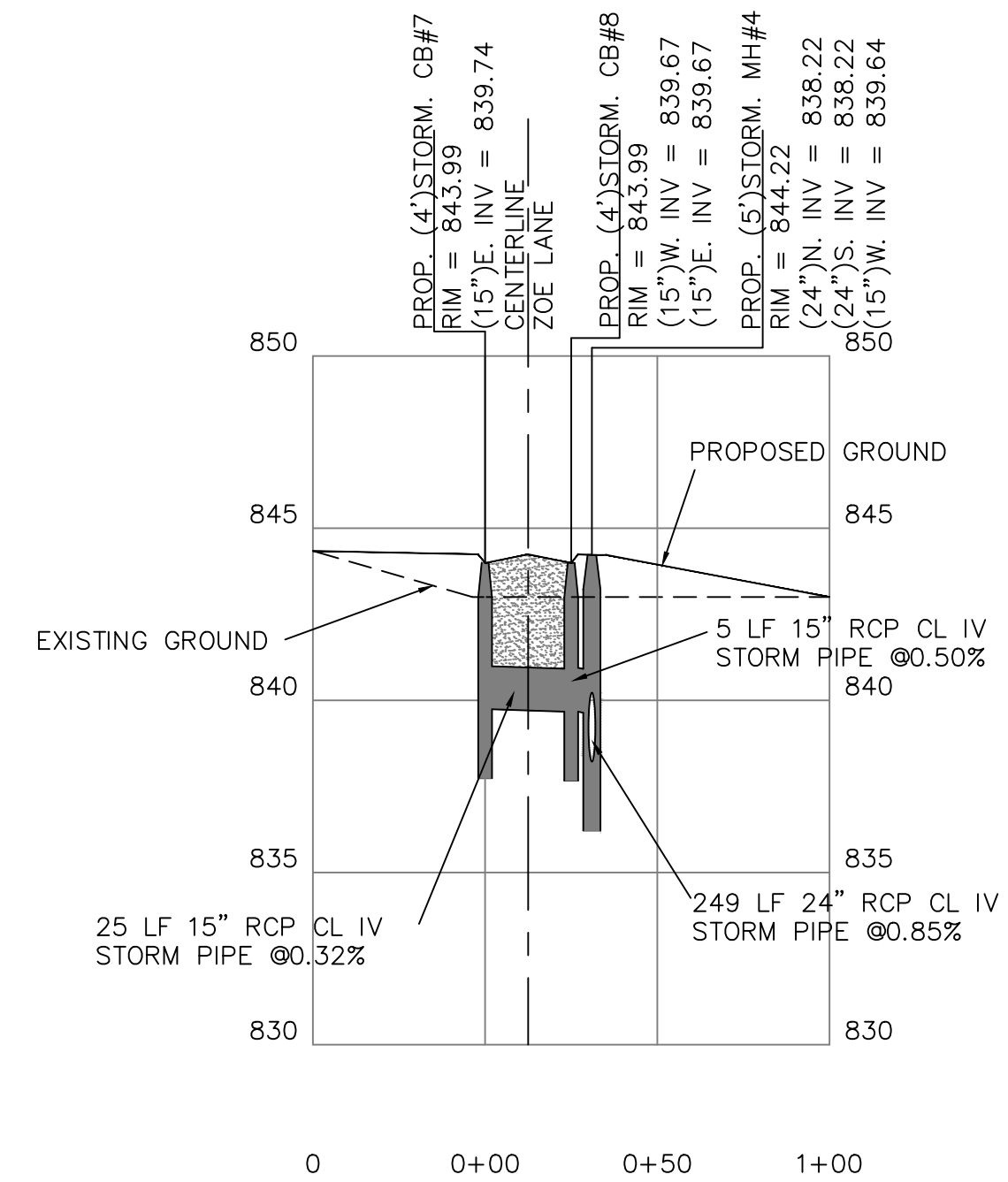
STORM PROFILE
SCALE:
HOR: 1" = 50'
VERT: 1" = 5'



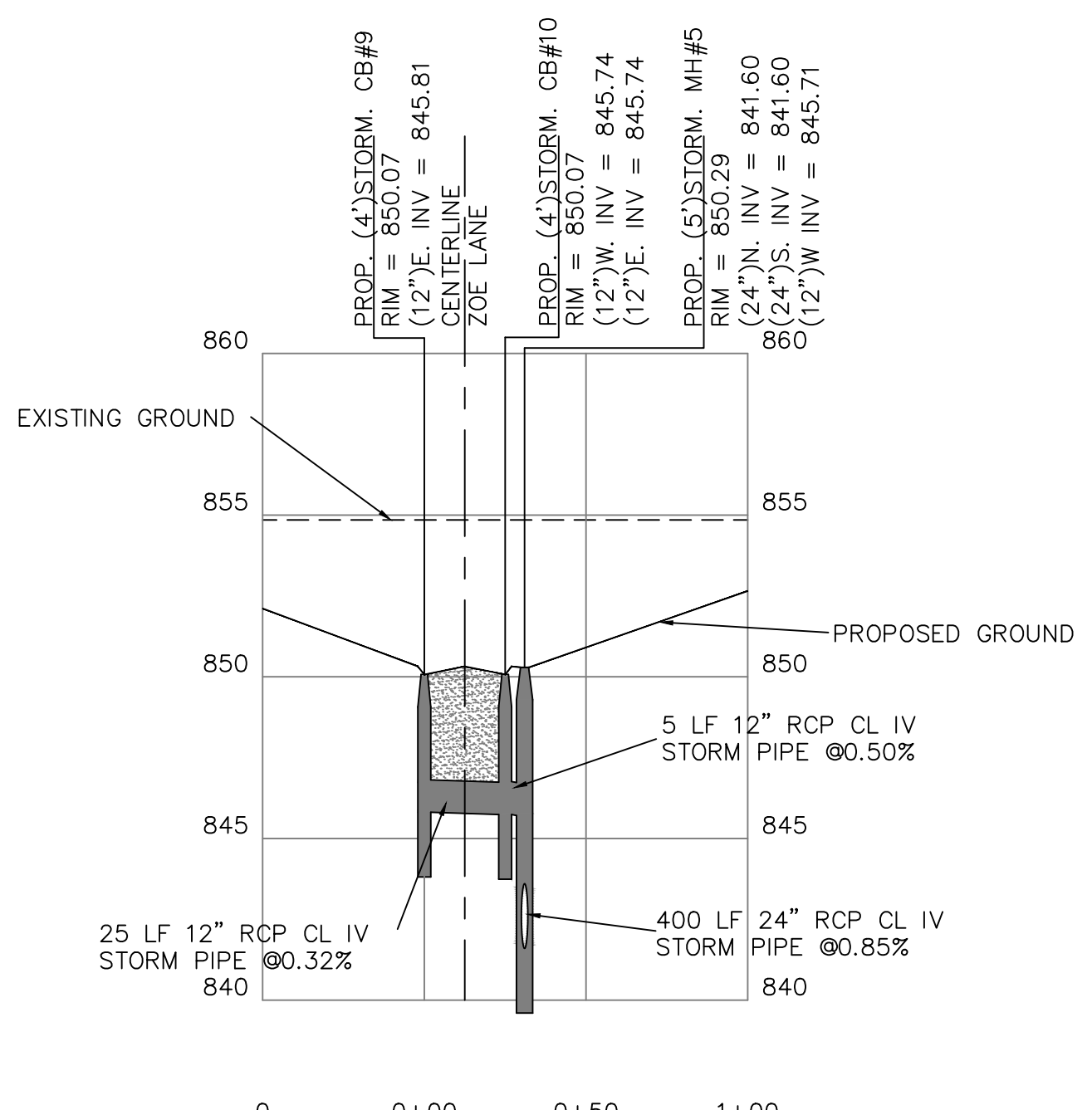
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SCALE:
HOR: 1" = 50'
VERT: 1" = 5'



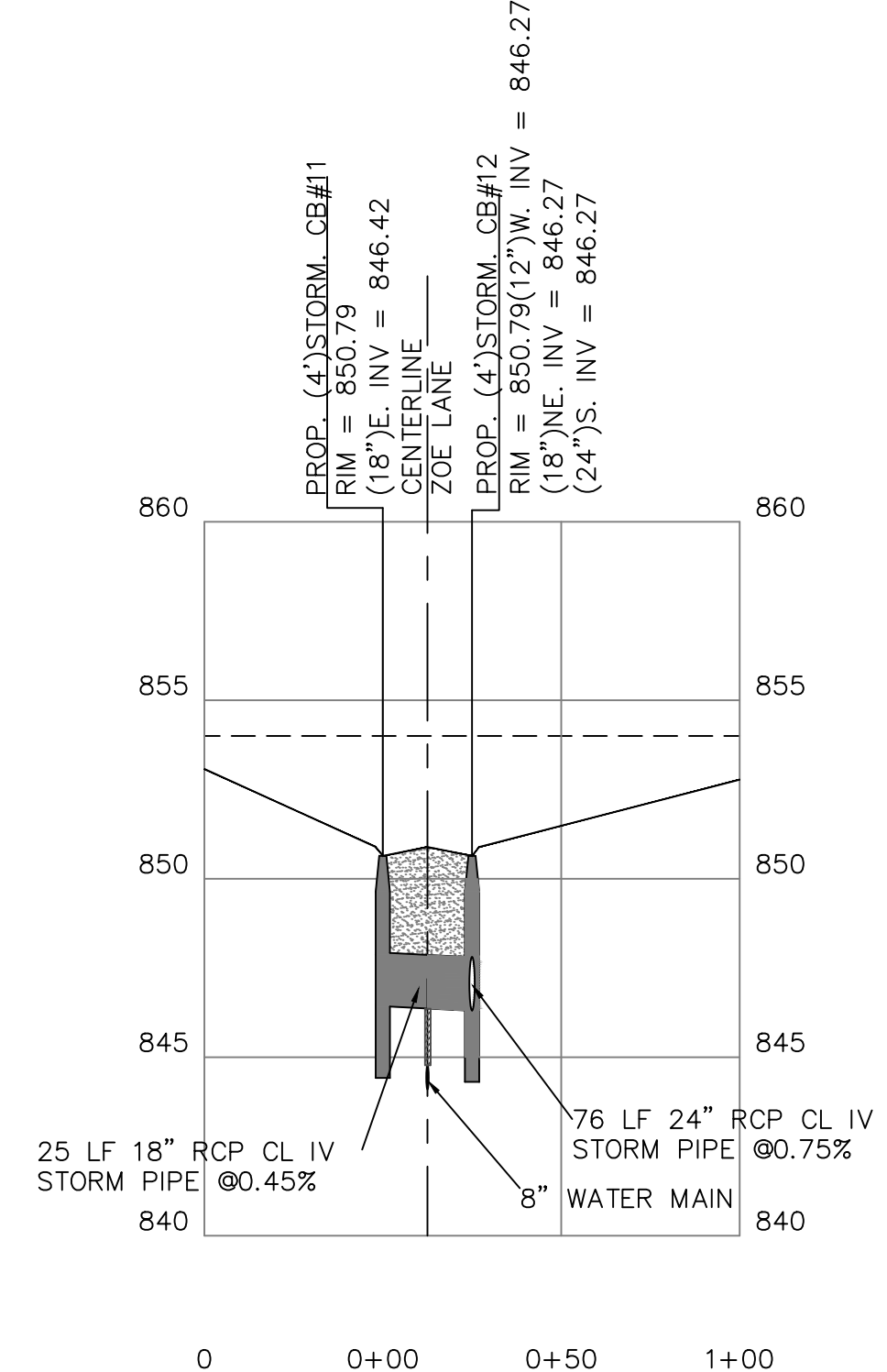
STORM PROFILE
SCALE:
HOR: 1" = 50'
VERT: 1" = 5'



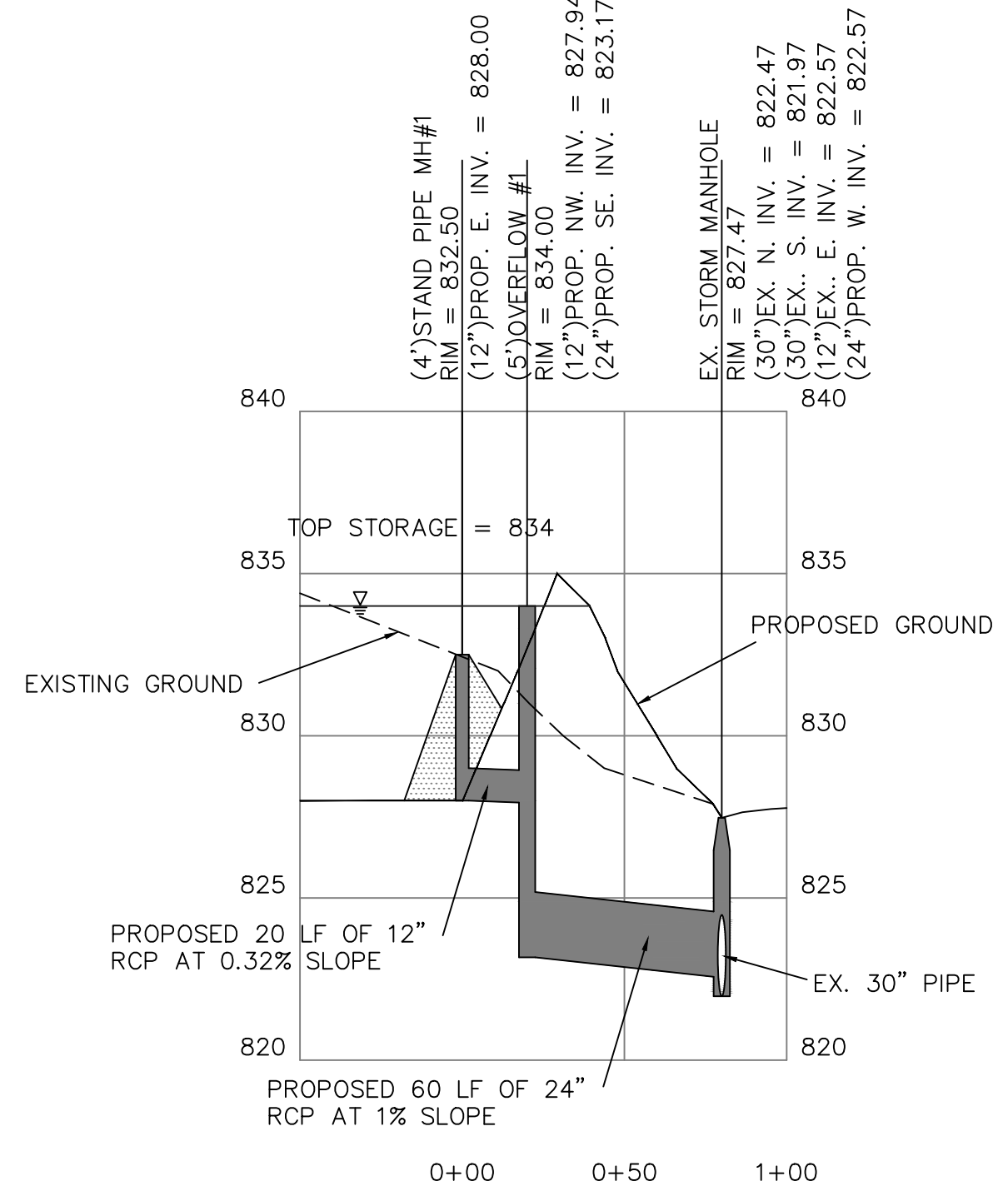
STORM PROFILE
SCALE:
HOR: 1" = 50'
VERT: 1" = 5'



STORM PROFILE
SCALE:
HOR: 1" = 50'
VERT: 1" = 5'



STORM PROFILE
SCALE:
HOR: 1" = 50'
VERT: 1" = 5'



POND OUTLET PROFILE
SCALE:
HOR: 1" = 50'
VERT: 1" = 5'

STORM PROFILES
SCALE: 1"=50'



NO.	REVISION/ISSUE	DATE

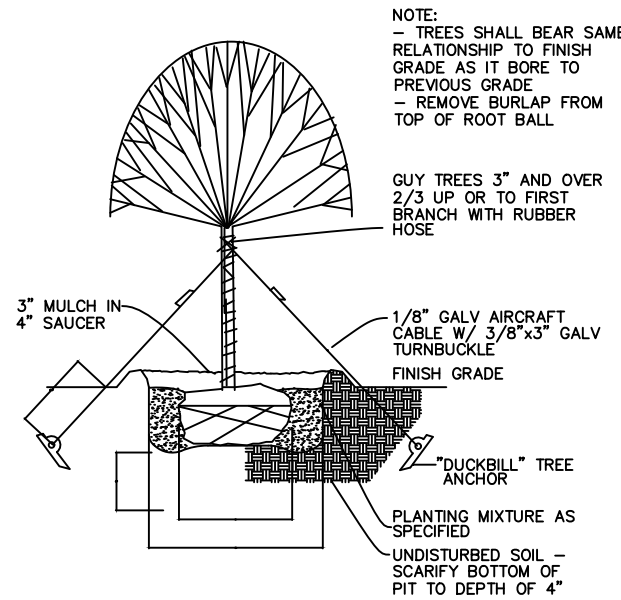
SHEET TITLE:
STORM PROFILES

PROJECT:
4344 SILVER LAKE ROAD
LINDEN, MI 48451
OFFICE: (810)750-5280
EMAIL: 1996LEPC@GMAIL.COM

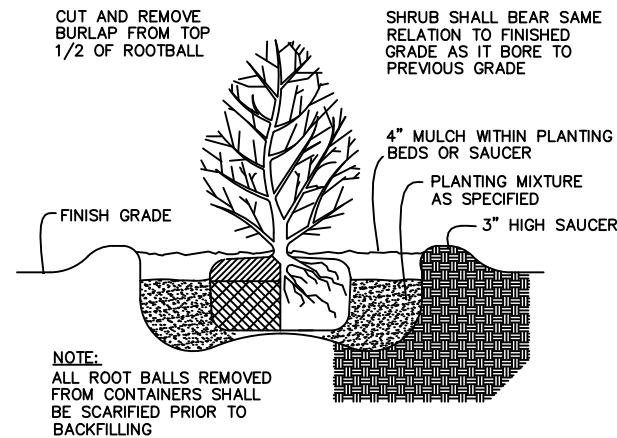


PROJECT:
QUEEN'S MEADOWS
MIKE DE MIL
48991 JEFFERSON
CHESTERFIELD, MI 48047
(566)980-2079

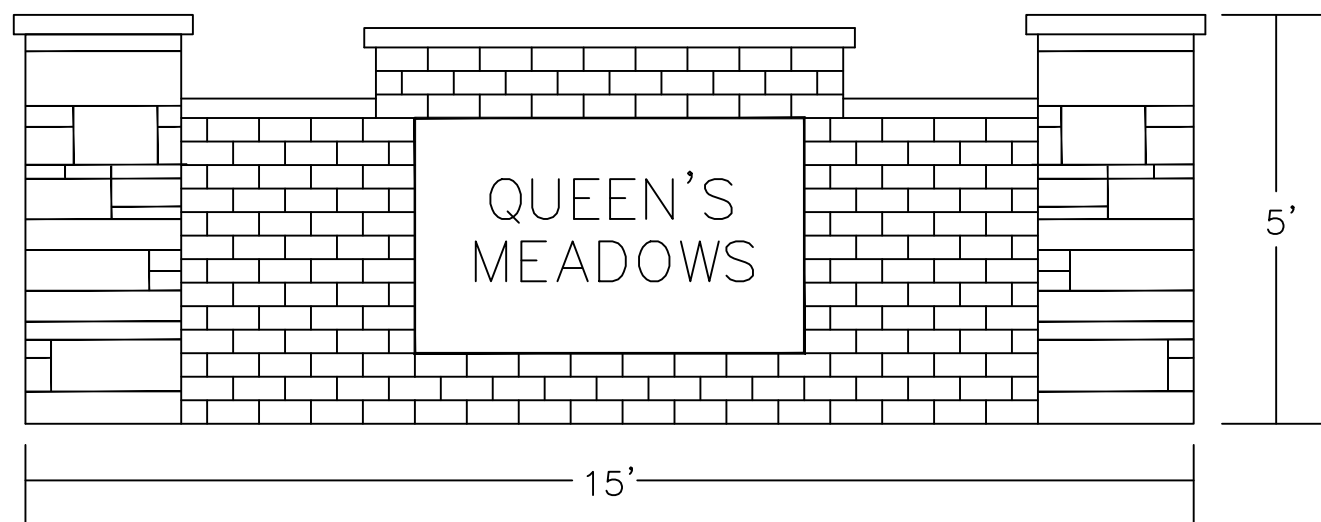
JOB NO.:	2022-001B
DATE:	4/3/2023
DRAWN BY:	BLB
CHECKED BY:	MML
SHEET:	20 OF 27



1 DECIDUOUS TREE PLANTING
3 NO SCALE



2 SHRUB TREE PLANTING
3 NO SCALE



3 QUEEN'S MEADOWS SIGN
3 NO SCALE

NOTES:
1. ONE TREE SHALL BE PLANTED IN THE FRONT YARD OF EACH LOT BY THE BUILDER OF EACH INDIVIDUAL LOT.

LANDSCAPE NOTES

1. PLANTINGS SHALL BE DONE WITHIN SIX (6) MONTHS FROM THE DATE OF CONSTRUCTION COMPLETION AND THEREAFTER BE REASONABLY MAINTAINED.
2. LANDSCAPED AREAS AND PLANT MATERIALS REQUIRED BY THE CITY OF GRAND BLANC SHALL BE KEPT FREE FROM REFUSE AND DEBRIS. PLANT MATERIALS, INCLUDING LAWN, SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION, NEAT AND ORDERLY IN APPEARANCE. IF ANY PLANT MATERIAL REQUIRED BY THIS PLAN DIES OR BECOMES DISEASED, THEY SHALL BE REPLACED WITHIN THIRTY (30) DAYS OF WRITTEN NOTICE FROM THE CITY OR WITHIN AN EXTENDED TIME AS SPECIFIED IN SAID NOTICE.
3. TREE STAKES, GUY WIRES AND TREE WRAP ARE TO BE REMOVED AFTER ONE (1) YEAR.
4. ALL LANDSCAPED AREAS SHALL BE PROVIDED WITH A READILY AVAILABLE AND ACCEPTABLE WATER SUPPLY, OR WITH AT LEAST ONE (1) OUTLET LOCATED WITHIN ONE HUNDRED (100) FEET OF ALL PLANTED MATERIAL TO BE MAINTAINED.
5. INSTALL 3" X 12" GA. EDGING TO SEPARATE LAWN FROM PLANTING BED.
6. ALL PLANTING BEDS MUST HAVE WEED BARRIER AND BE COMPLETELY MULCHED.
7. CONTRACTOR SHALL MAKE MINOR ADJUSTMENTS TO PLANT MATERIAL LOCATIONS IN FIELD, AS NECESSARY. THE LOCATION OF ALL PLANT MATERIAL SHALL BE SUBJECT TO APPROVAL BY THE OWNER'S AUTHORIZED REPRESENTATIVE.
8. ALL PLANT MATERIAL SHALL BE OF THE SIZES CALLED FOR IN THE LANDSCAPING SCHEDULE. ANY PLANT MATERIAL NOT MEETING THE SIZES AND/OR QUALITY AS CALLED FOR SHALL BE REMOVED FROM SITE. ALL TREES SHALL BE INSPECTED AND APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE. NO SUBSTITUTIONS OF PLANT MATERIAL SHALL BE MADE WITHOUT APPROVAL FROM THE OWNER'S AUTHORIZED REPRESENTATIVE.
9. ALL PROPOSED TREES OVER 2" CAL. SHALL BE GUIDED/STAKED SECURE.
10. CONTRACTOR SHALL DETERMINE APPROPRIATE PLANTING BACKFILL MIXES (BASED ON SOILS/SUBSURFACE CONDITIONS) AND REVIEW ALTERNATIVES WITH OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO INSTALLATION.

QUEENSLAND WEST LANDSCAPE SCHEDULE

QTY.	SYMBOL	COMMON NAME	SIZE
18	●	DWARF MUGO PINE	3' IN HEIGHT
10	●	BEAUTY BUSH	24" HEIGHT
10	●	GOLDEN EUCONYMUS	24" HEIGHT
6	●	QINGKO TREE	MIN 8' IN HEIGHT
2	●	AMUR MAPLE	MIN 2" CALIPER

LANDSCAPING CALCULATIONS

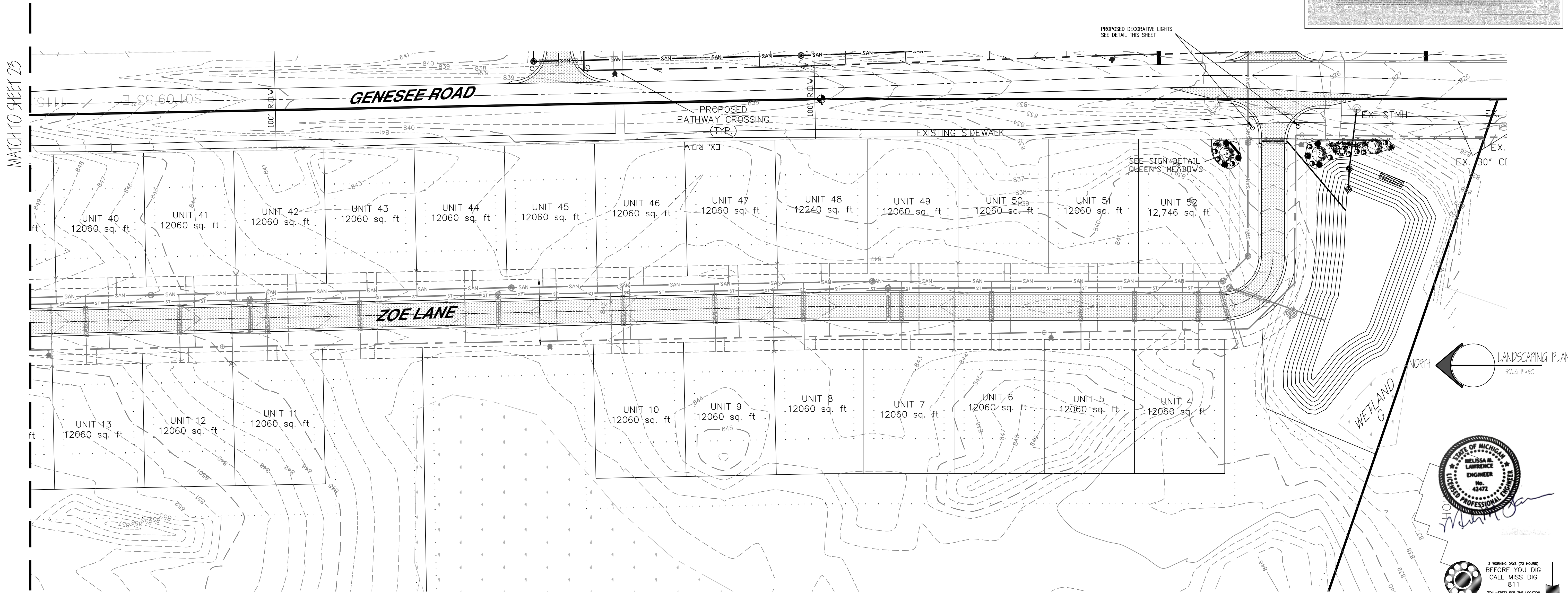
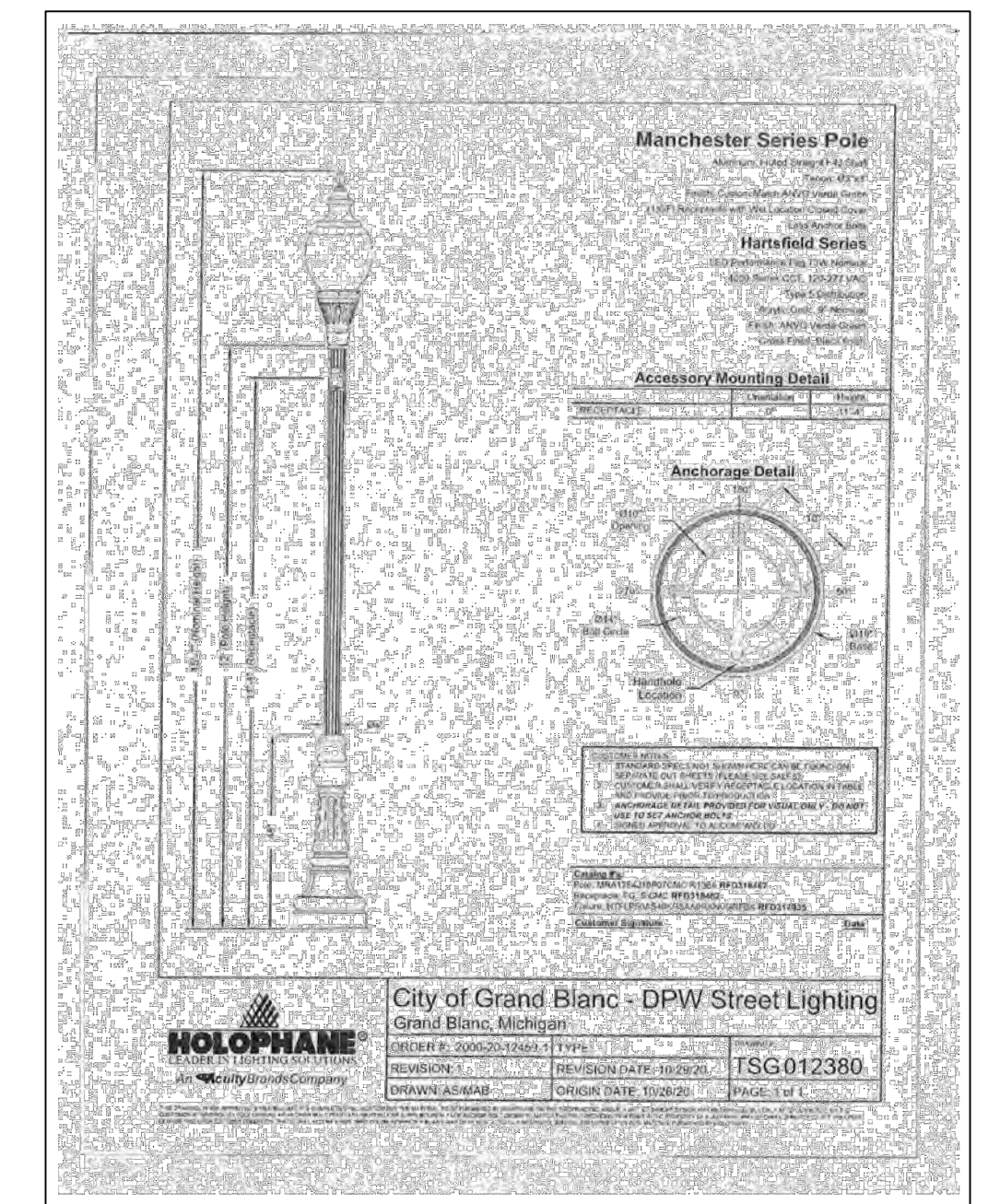
ORDINANCE: SECTION 2303 b.BERMS

3. AT LEAST ONE (1) DECIDUOUS TREE (MIN 2.5" CALIPER) SHALL BE PROVIDED FOR EACH THIRTY (30) LINEAL STREET BERM LENGTH.

APPROX. 240 LINEAL FEET OF BERM LENGTH
TREES REQUIRED: 8
TREES PROVIDED: 8

4. AT LEAST ONE (1) MINIMUM EIGHTEEN INCH (18") HIGH SHRUB SHALL BE PROVIDED FOR EACH ONE HUNDRED (100) SQ.FT. OF BERM SURFACE AREA.

APPROX. 3500 SQ.FT. OF BERM SURFACE AREA
SHRUBS REQUIRED: 35
SHRUBS PROVIDED: 38



NO.	REVISION/ISSUE	DATE

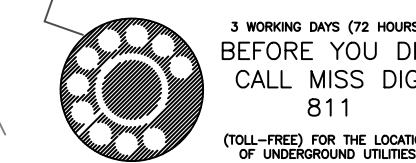
SHEET TITLE:
LANDSCAPING PLAN

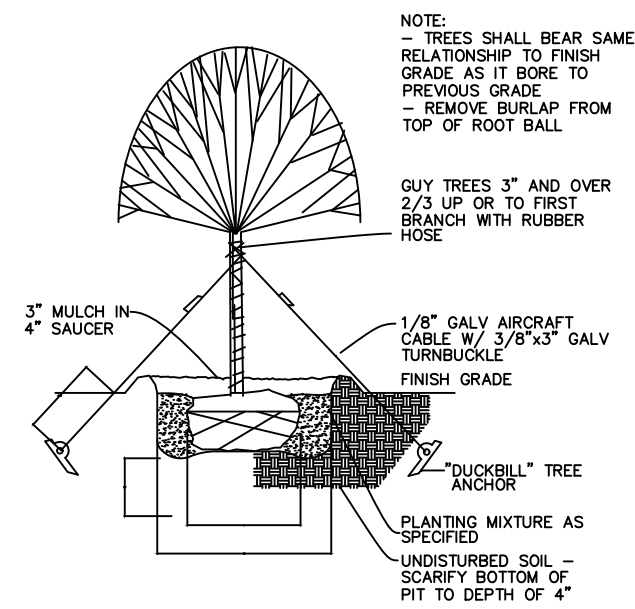
4344 SILVER LAKE ROAD
LINDEN, MI 48451
OFFICE: (810) 750-5280
EMAIL: 1996LEPC@GMAIL.COM

LAWRENCE ENGINEERING P.C.
ENGINEERING

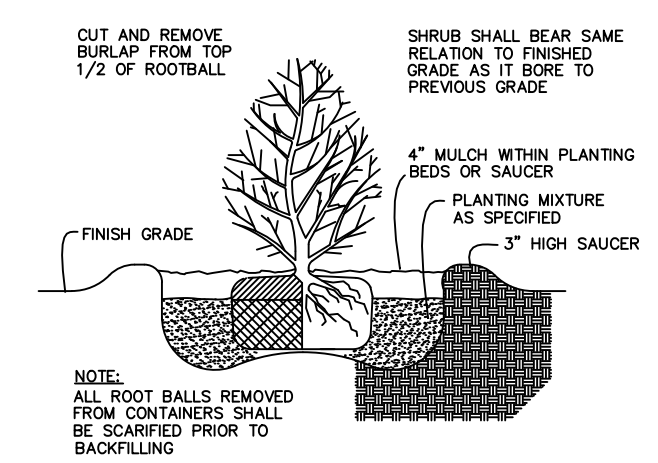
PROJECT: QUEEN'S MEADOWS
MIKE DE MIL
48991 JEFFERSON
CHESTERFIELD, MI 48047
(586) 980-2079

JOB NO.: 2022-001B
DATE: 4/3/2023
DRAWN BY: BLB
CHECKED BY: MML
SHEET: 22 OF 27





1 DECIDUOUS TREE PLANTING
2 NO SCALE



2 SHRUB TREE PLANTING
2 NO SCALE

LANDSCAPING CALCULATIONS
ORDINANCE: SECTION 2303 b.BERMS

3. AT LEAST ONE (1) DECIDUOUS TREE (MIN 2.5" CALIPER) SHALL BE PROVIDED FOR EACH THIRTY (30) LINEAL STREET BERM LENGTH.

APPROX. 240 LINEAL FEET OF BERM LENGTH TREES REQUIRED: 8
TREES PROVIDED: 8

4. AT LEAST ONE (1) MINIMUM EIGHTEEN INCH (18") HIGH SHRUB SHALL BE PROVIDED FOR EACH ONE HUNDRED (100) SQ.FT. OF BERM SURFACE AREA.

APPROX. 3500 SQ.FT OF BERM SURFACE AREA
SHRUBS REQUIRED: 35
SHRUBS PROVIDED: 38

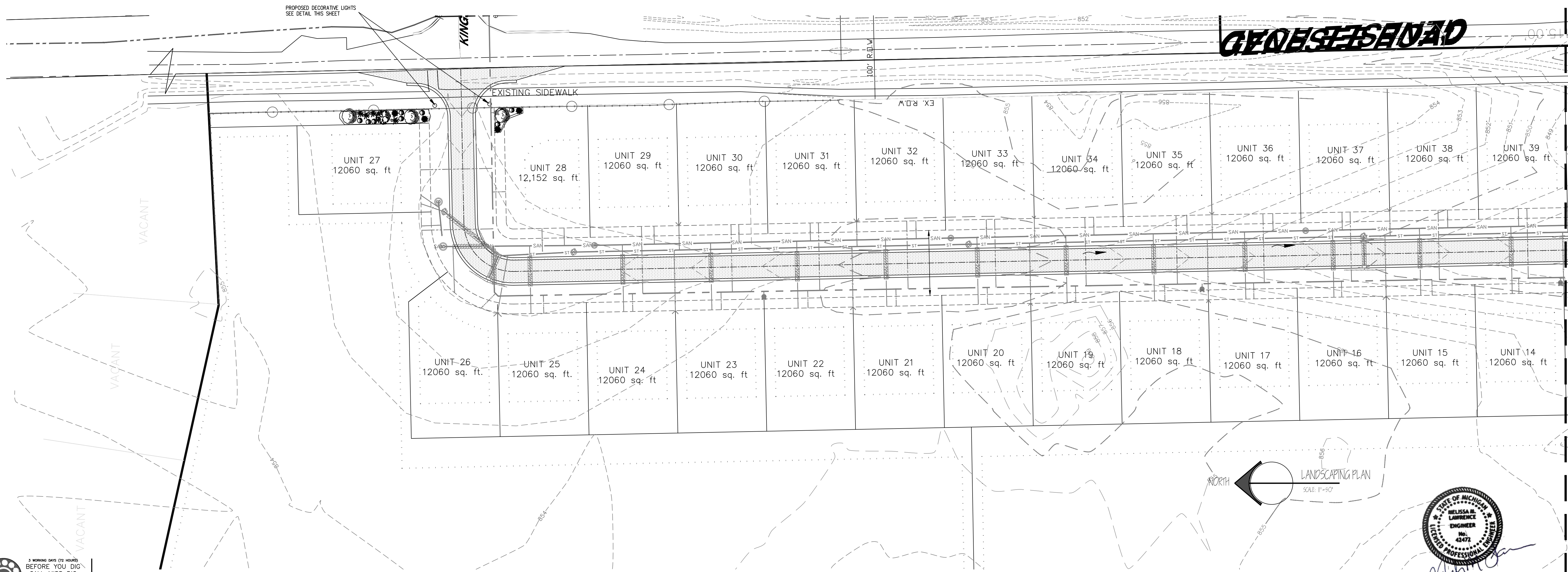
NOTES:
1. ONE TREE SHALL BE PLANTED IN THE FRONT YARD OF EACH LOT BY THE BUILDER OF EACH INDIVIDUAL LOT.

LANDSCAPE NOTES

1. PLANTINGS SHALL BE DONE WITHIN SIX (6) MONTHS FROM THE DATE OF CONSTRUCTION COMPLETION AND THEREAFTER BE REASONABLY MAINTAINED.
2. LANDSCAPED AREAS AND PLANT MATERIALS REQUIRED BY THE CITY OF GRAND BLANC SHALL BE KEPT FREE FROM REFUSE AND DEBRIS. PLANT MATERIALS, INCLUDING LAWN, SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION, NEAT AND ORDERLY IN APPEARANCE. IF ANY PLANT MATERIAL REQUIRED BY THIS PLAN DIES OR BECOMES DISEASED, THEY SHALL BE REPLACED WITHIN THIRTY (30) DAYS OF WRITTEN NOTICE FROM THE CITY OR WITHIN AN EXTENDED TIME AS SPECIFIED IN SAID NOTICE.
3. TREE STAKES, GUY WIRES AND TREE WRAP ARE TO BE REMOVED AFTER ONE (1) YEAR.
4. ALL LANDSCAPED AREAS SHALL BE PROVIDED WITH A READILY AVAILABLE AND ACCEPTABLE WATER SUPPLY, OR WITH AT LEAST ONE (1) OUTLET LOCATED WITHIN ONE HUNDRED (100) FEET OF ALL PLANTED MATERIAL TO BE MAINTAINED.
5. INSTALL 3" X 12" GA. EDGING TO SEPARATE LAWN FROM PLANTING BED.
6. ALL PLANTING BEDS MUST HAVE WEED BARRIER AND BE COMPLETELY MULCHED.
7. CONTRACTOR SHALL MAKE MINOR ADJUSTMENTS TO PLANT MATERIAL LOCATIONS IN FIELD, AS NECESSARY. THE LOCATION OF ALL PLANT MATERIAL SHALL BE SUBJECT TO APPROVAL BY THE OWNER'S AUTHORIZED REPRESENTATIVE.
8. ALL PLANT MATERIAL SHALL BE OF THE SIZES CALLED FOR IN THE LANDSCAPING SCHEDULE. ANY PLANT MATERIAL NOT MEETING THE SIZES AND/OR QUALITY AS CALLED FOR SHALL BE REMOVED FROM SITE. ALL TREES SHALL BE INSPECTED AND APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE. NO SUBSTITUTIONS OF PLANT MATERIAL SHALL BE MADE WITHOUT APPROVAL FROM THE OWNER'S AUTHORIZED REPRESENTATIVE.
9. ALL PROPOSED TREES OVER 2" CAL. SHALL BE GUIDED/STAKED SECURE.
10. CONTRACTOR SHALL DETERMINE APPROPRIATE PLANTING BACKFILL MIXES (BASED ON SOILS/SUBSURFACE CONDITIONS) AND REVIEW ALTERNATIVES WITH OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO INSTALLATION.

QUEENSLAND WEST LANDSCAPE SCHEDULE

QTY.	SYMBOL	COMMON NAME	SIZE
18	●	DWARF MUDD PINE	3' IN HEIGHT
10	●	BEAUTY BUSH	24" HEIGHT
10	●	GOLDEN EUNYMOS	24" HEIGHT
6	●	GINKGO TREE	MIN 8' IN HEIGHT
2	●	AMUR MAPLE	MIN 2" CALIPER



MATCH TO SHEET 22

NO.	REVISION/ISSUE	DATE

SHEET TITLE:
LANDSCAPING PLAN

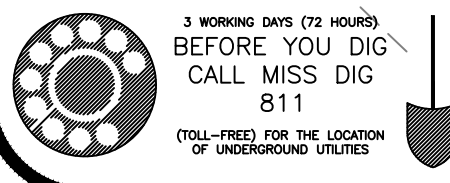
4344 SILVER LAKE ROAD
LINDEN, MI 48451
OFFICE: (810) 750-5280
EMAIL: 1996LEPC@GMAIL.COM

LAWRENCE ENGINEERING P.C.
ENGINEERING

PROJECT:
QUEEN'S MEADOWS
MIKE DE MIL
48991 JEFFERSON
CHESTERFIELD, MI 48047
(586) 980-2079

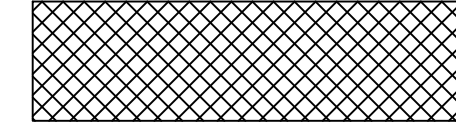
JOB NO.: 2022-001B
DATE: 4/3/2023
DRAWN BY: BLB
CHECKED BY: MML

SHEET: 23 OF 27

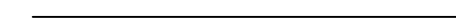


LEGEND

GENERAL COMMON ELEMENT AREA



UNIT LINES



BUILDING ENVELOPE

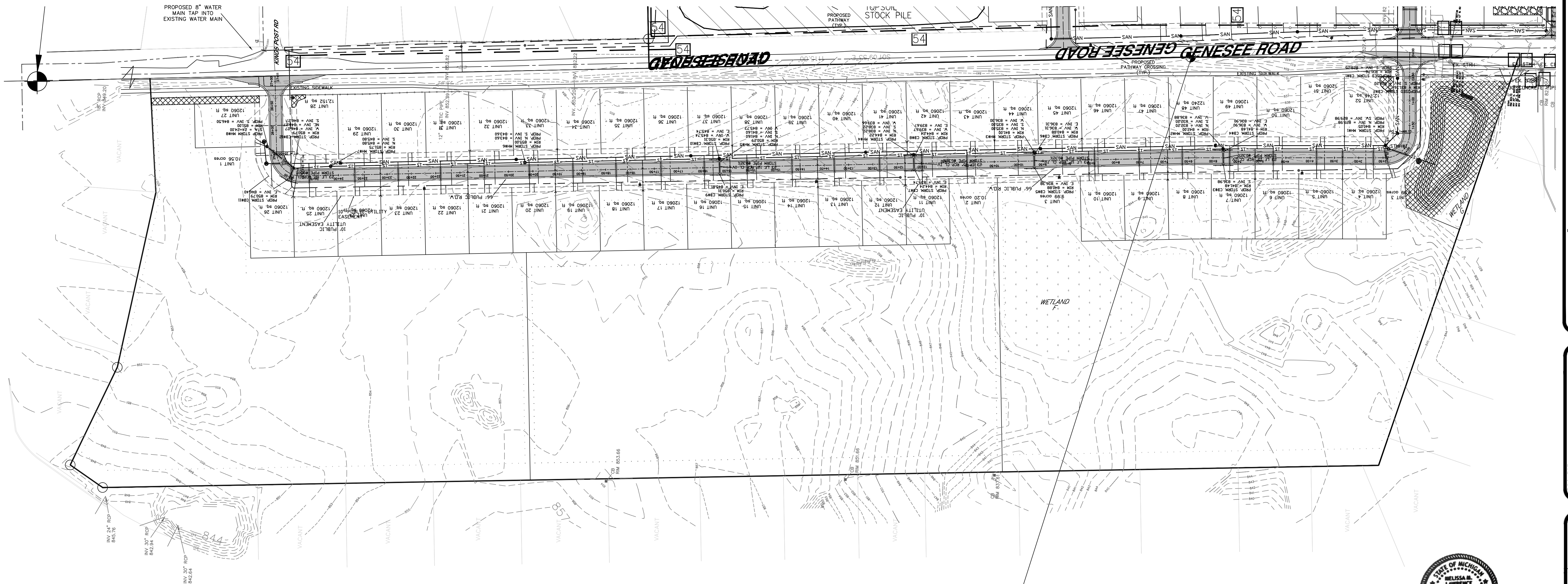
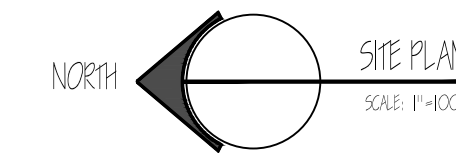
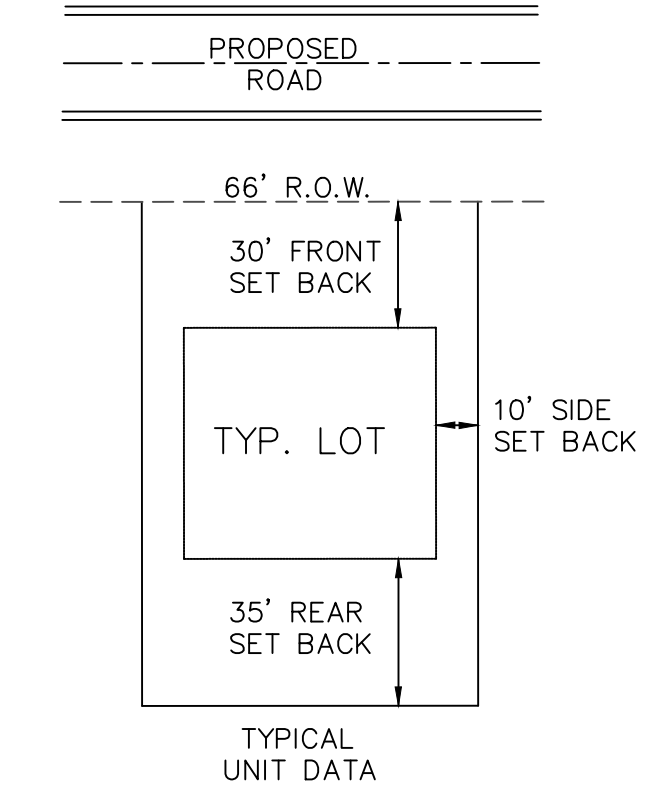


CONDOMINIUM BOUNDARY LINES



NOTES:

1. LIMITED COMMON ELEMENT AREA.
2. THE TOP AND BOTTOM LIMITS OF OWNERSHIP ARE PARALLEL TO EACH OTHER AND ARE PERPENDICULAR TO THE VERTICAL LIMITS OF OWNERSHIP.
3. ALL ROADS AND UTILITIES "MUST BE BUILT".



M. Lawrence

NO.	REVISION/ISSUE	DATE

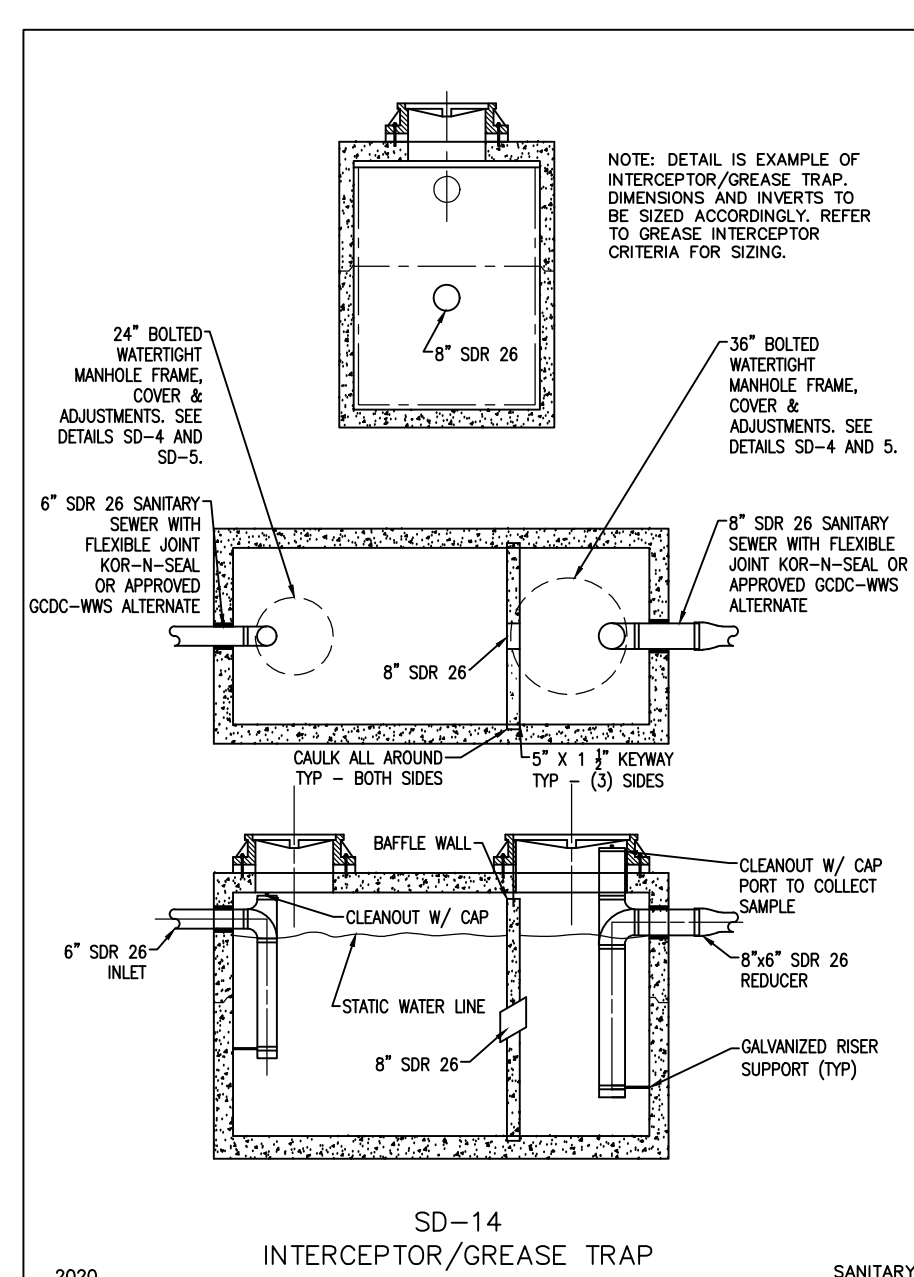
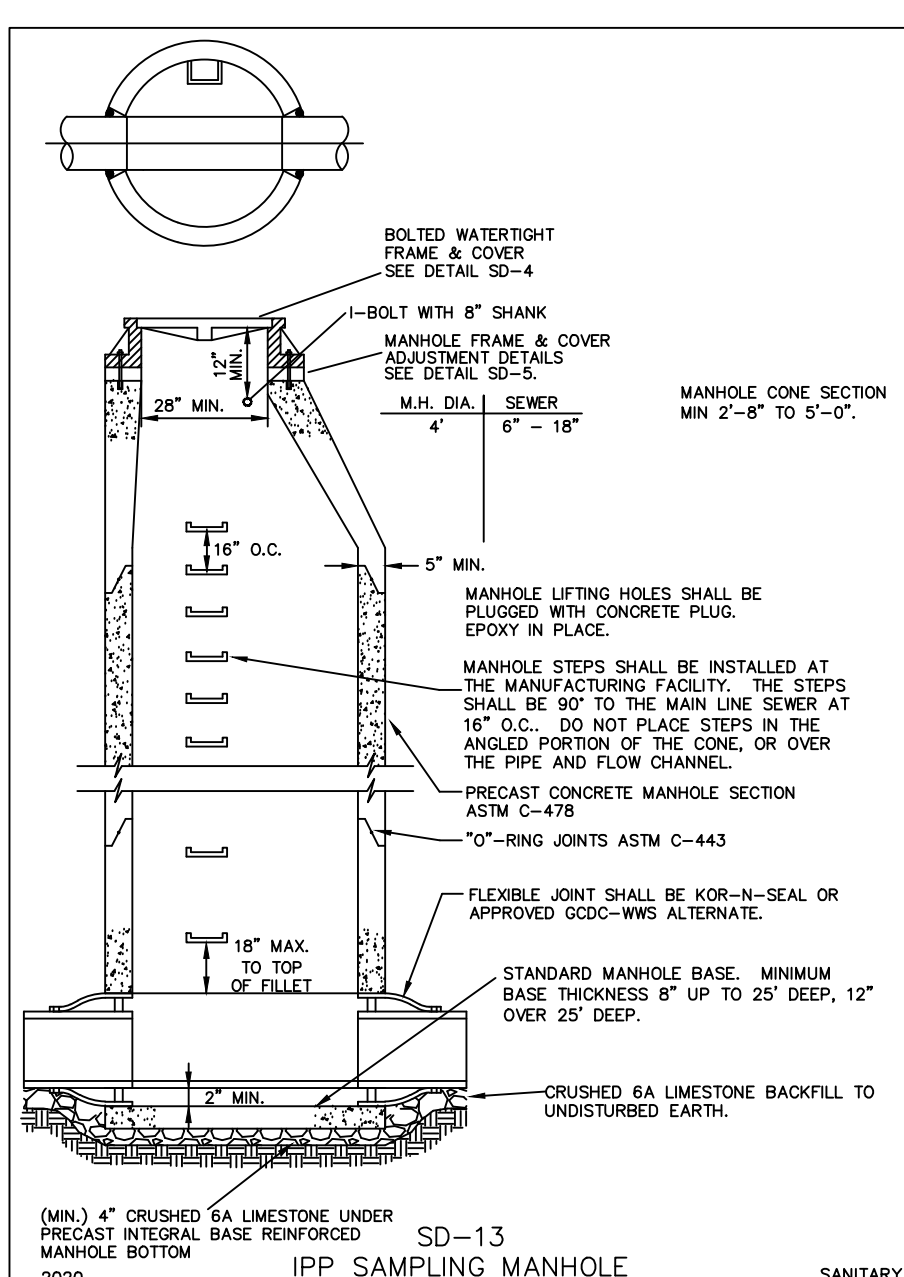
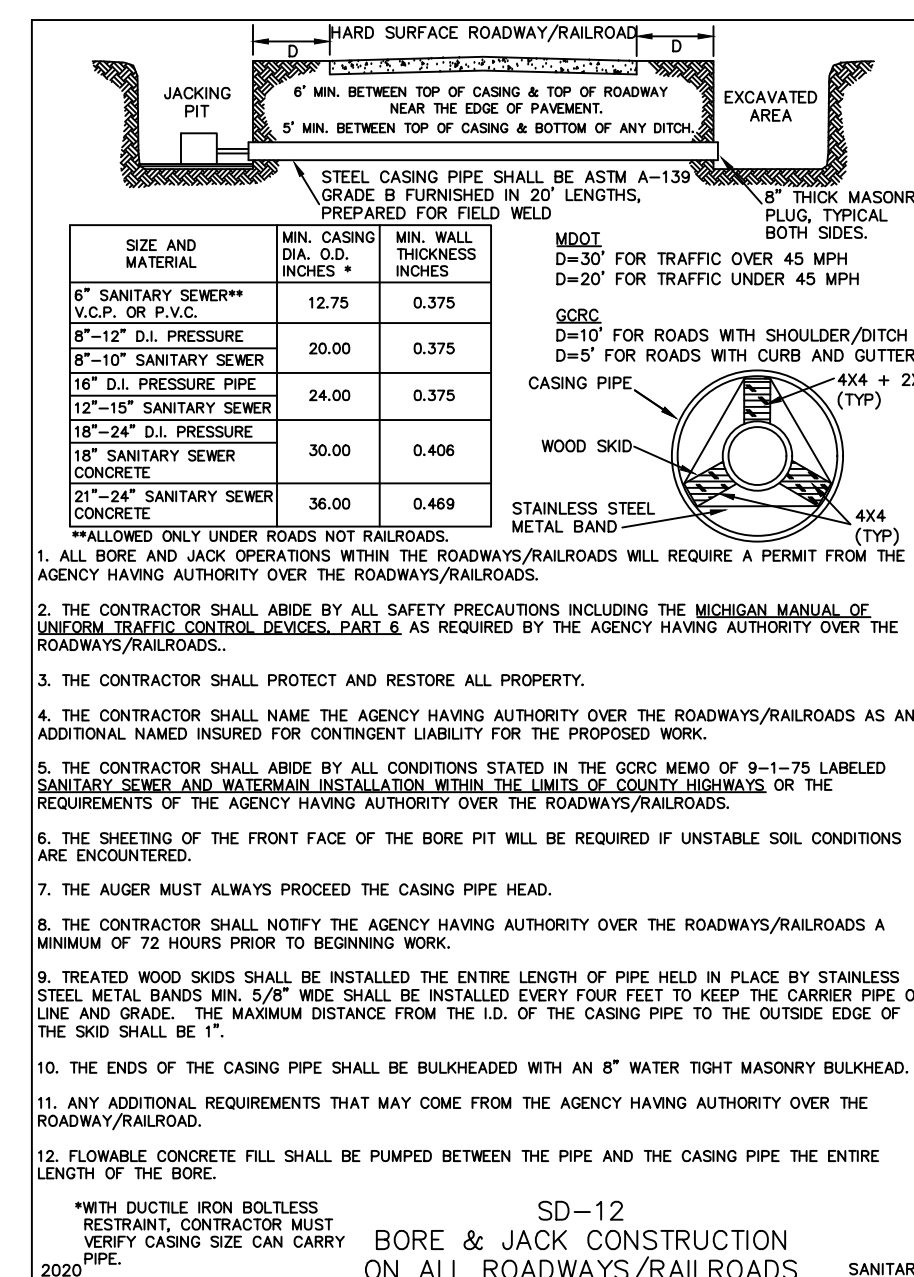
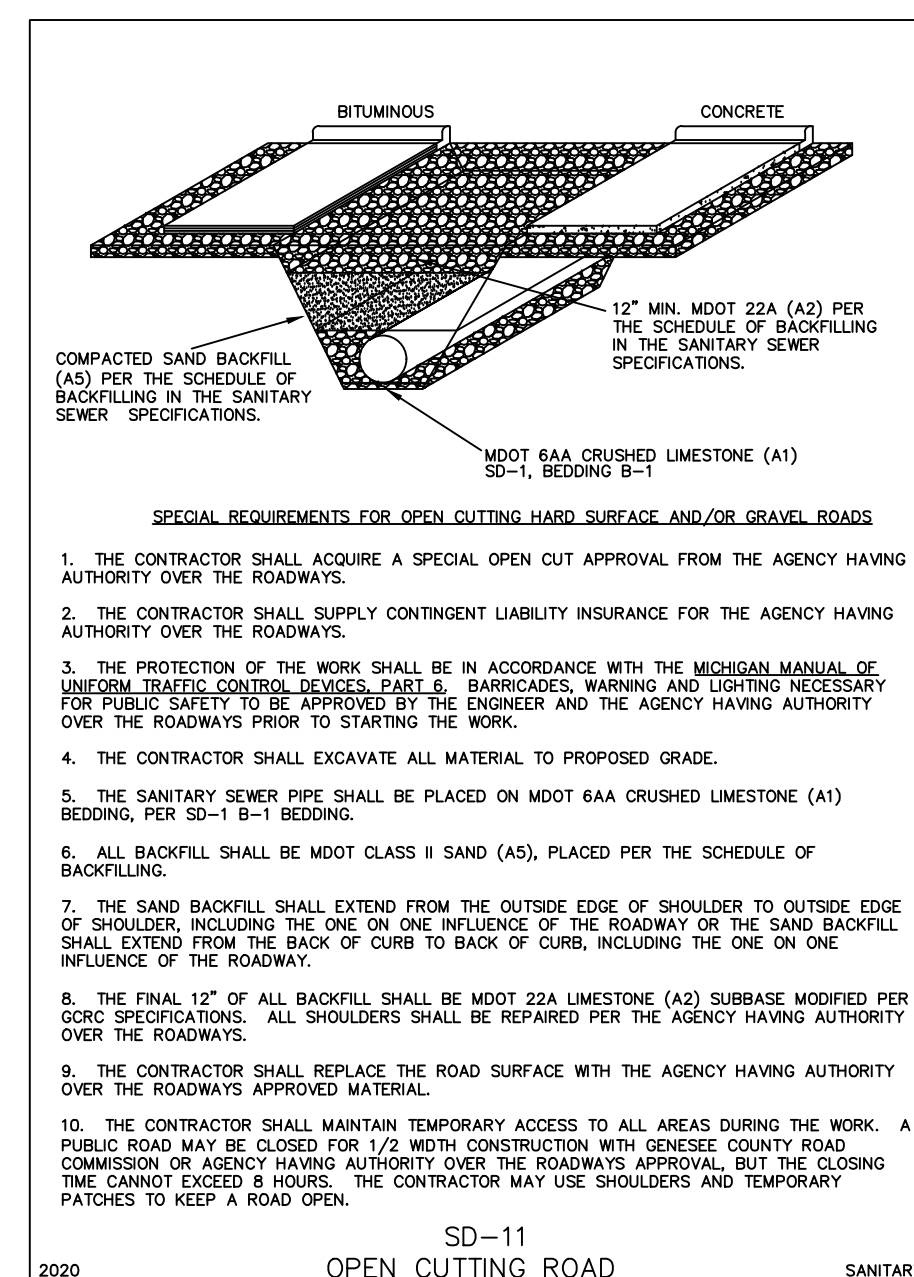
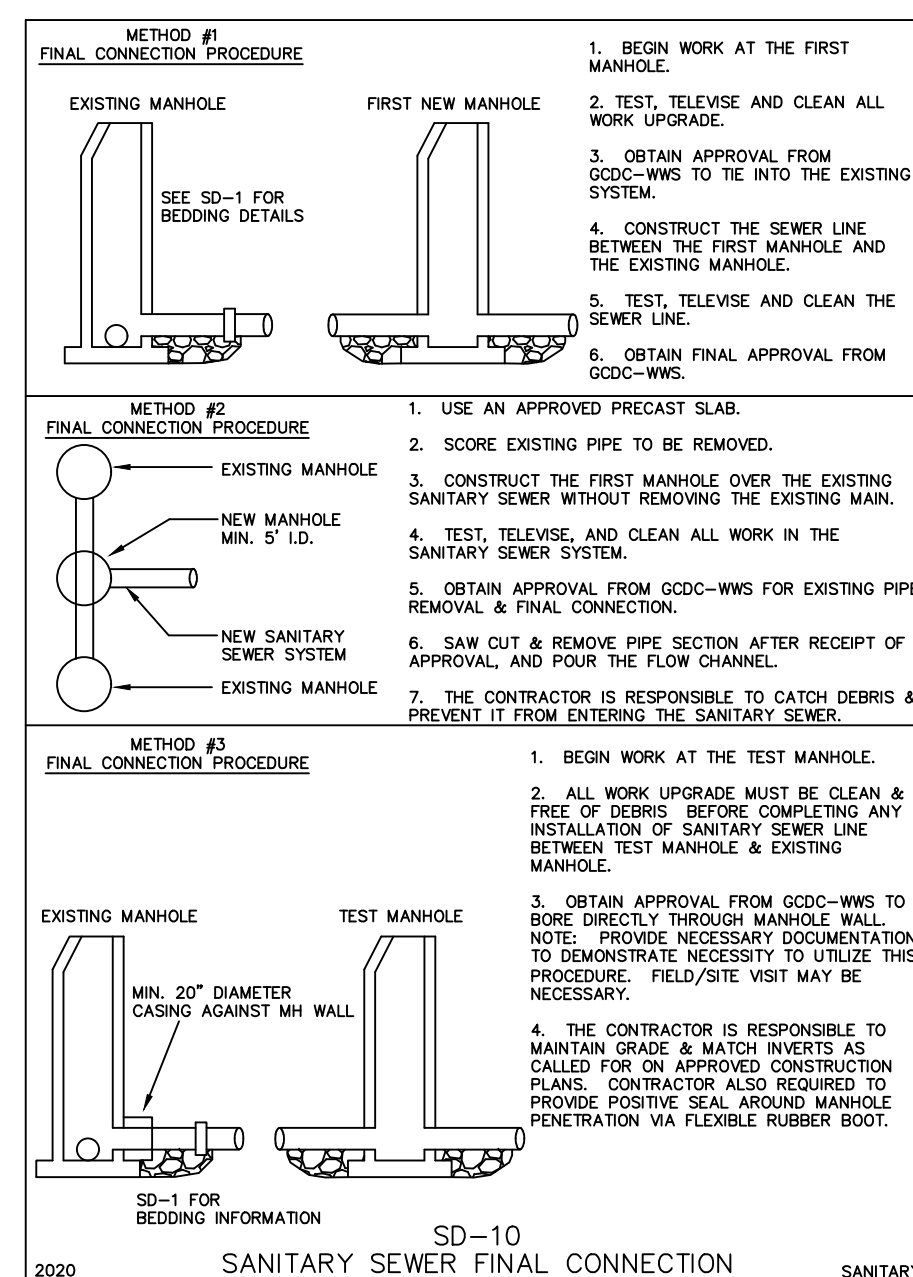
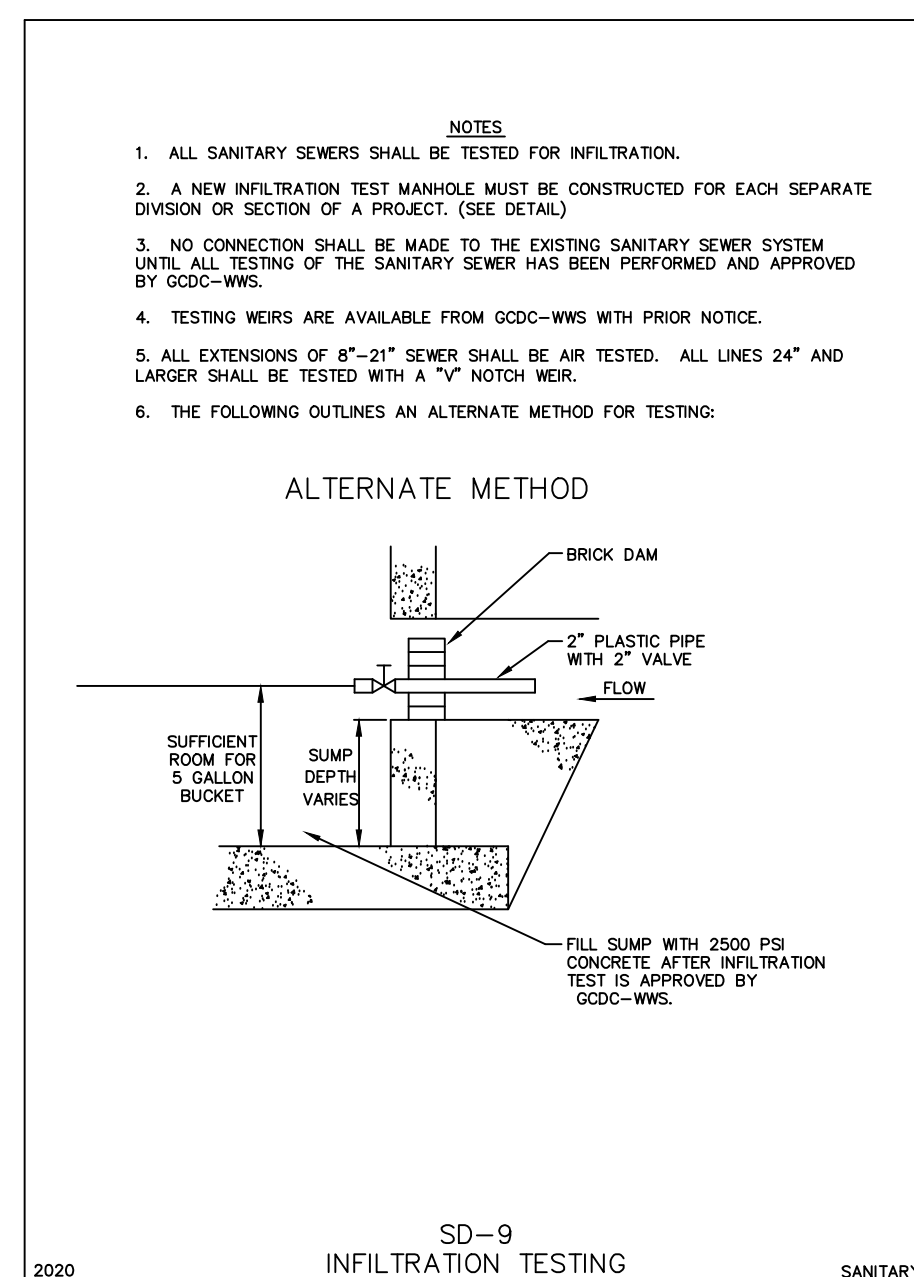
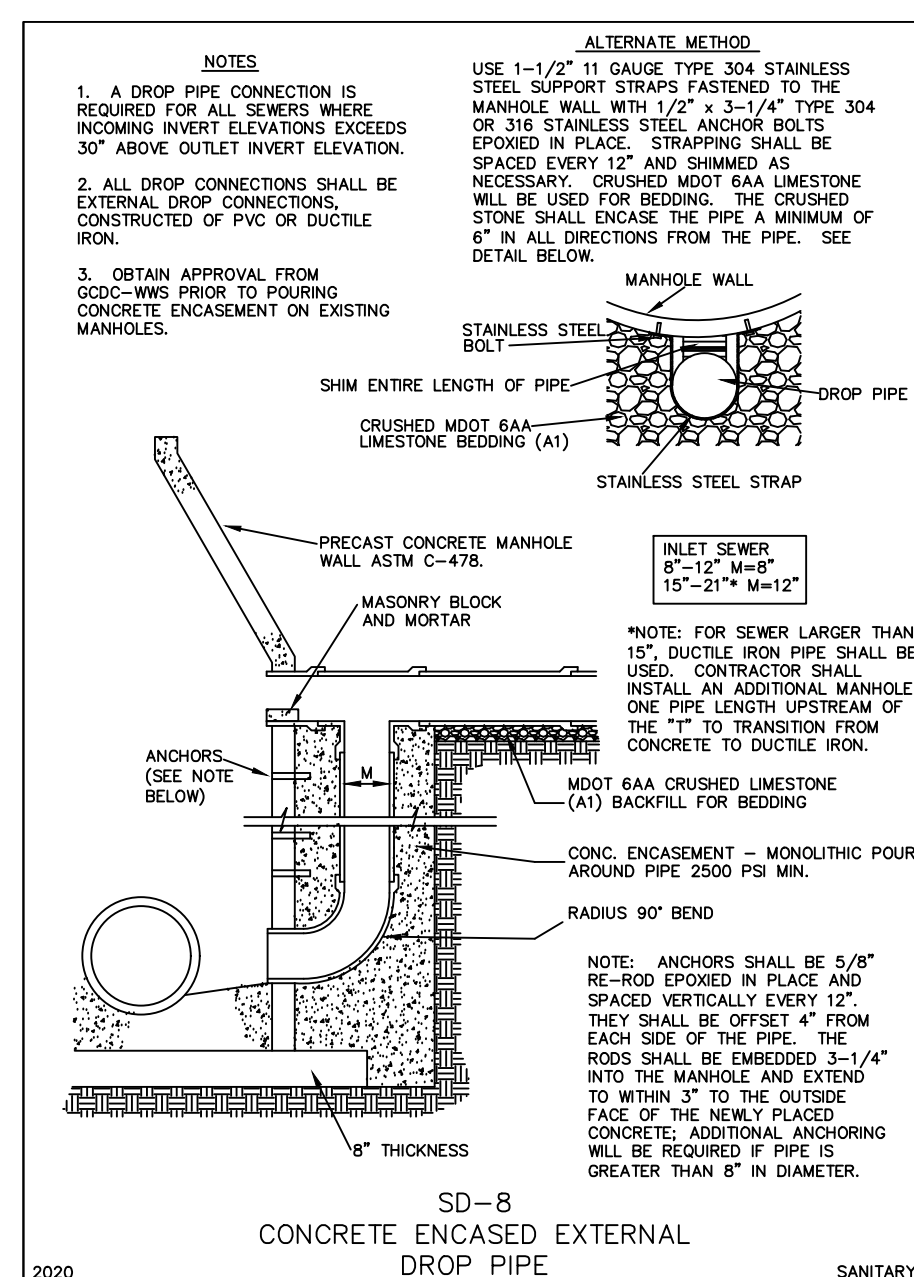
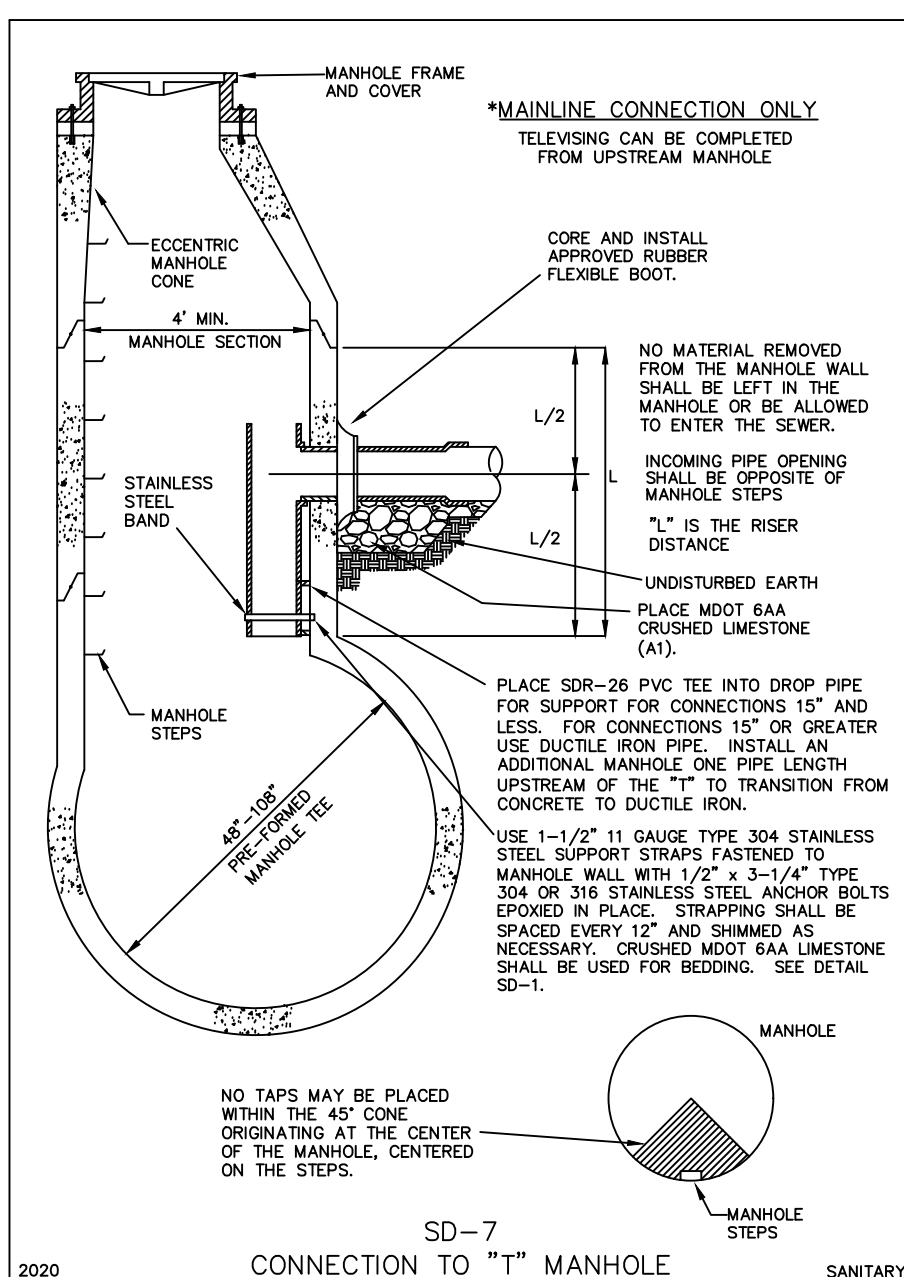
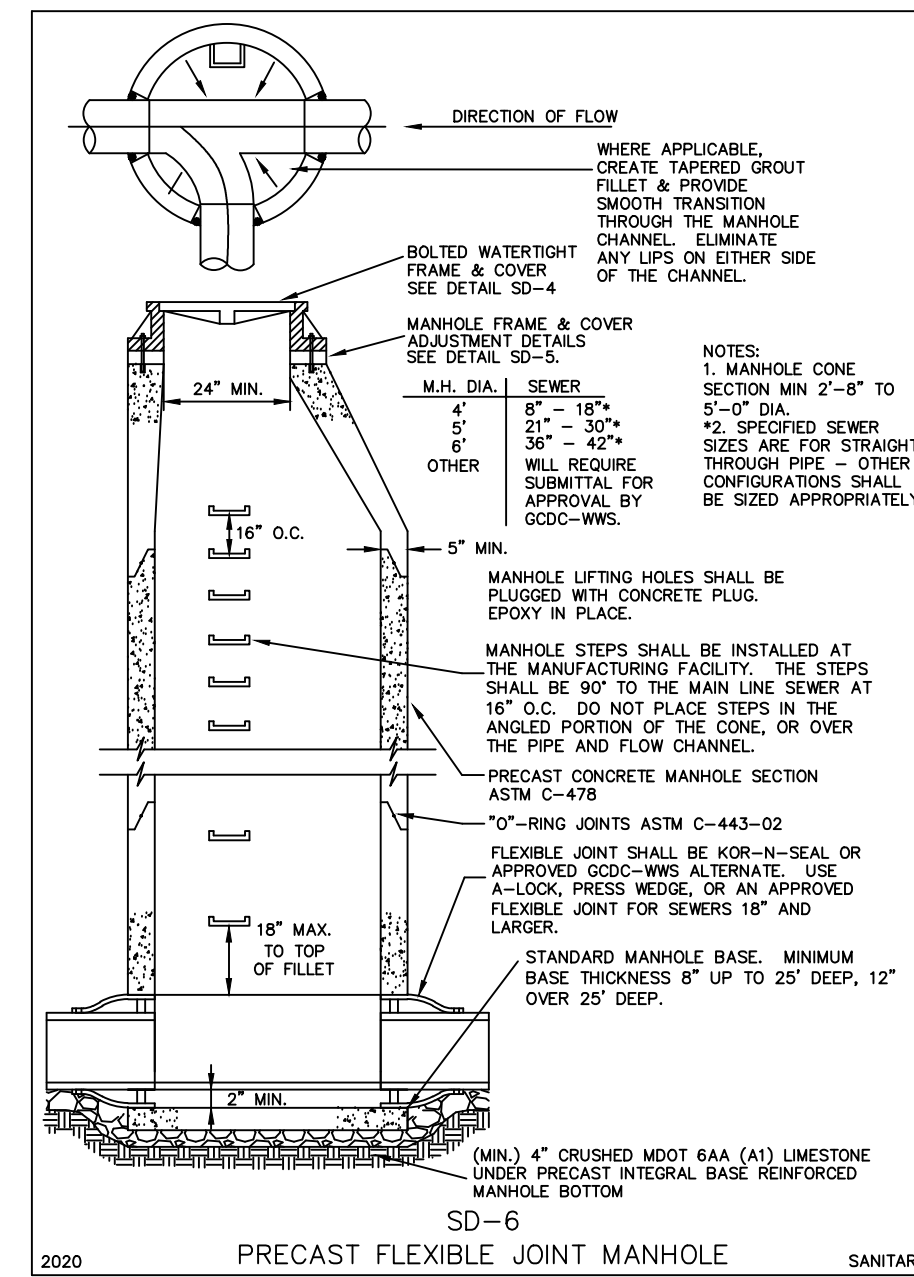
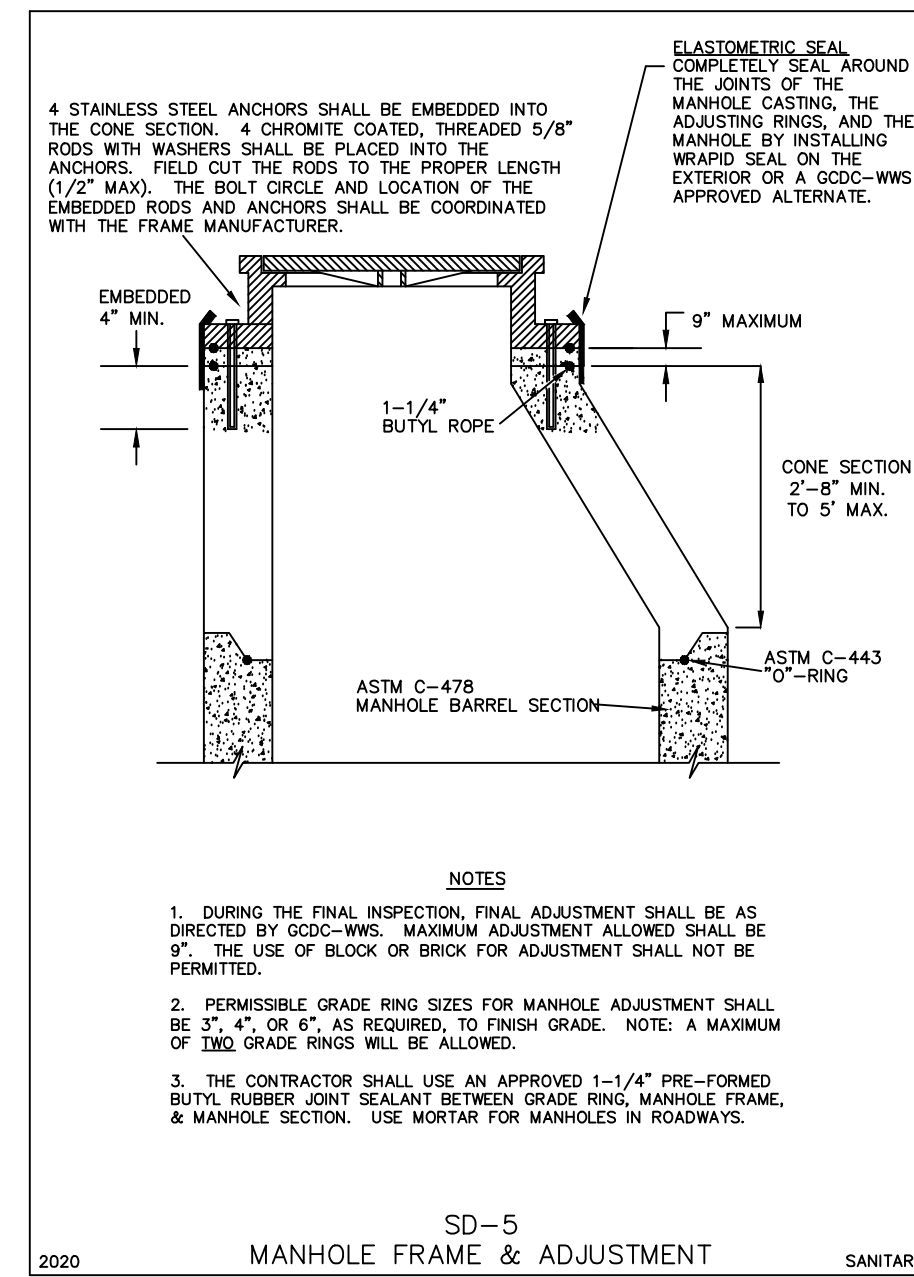
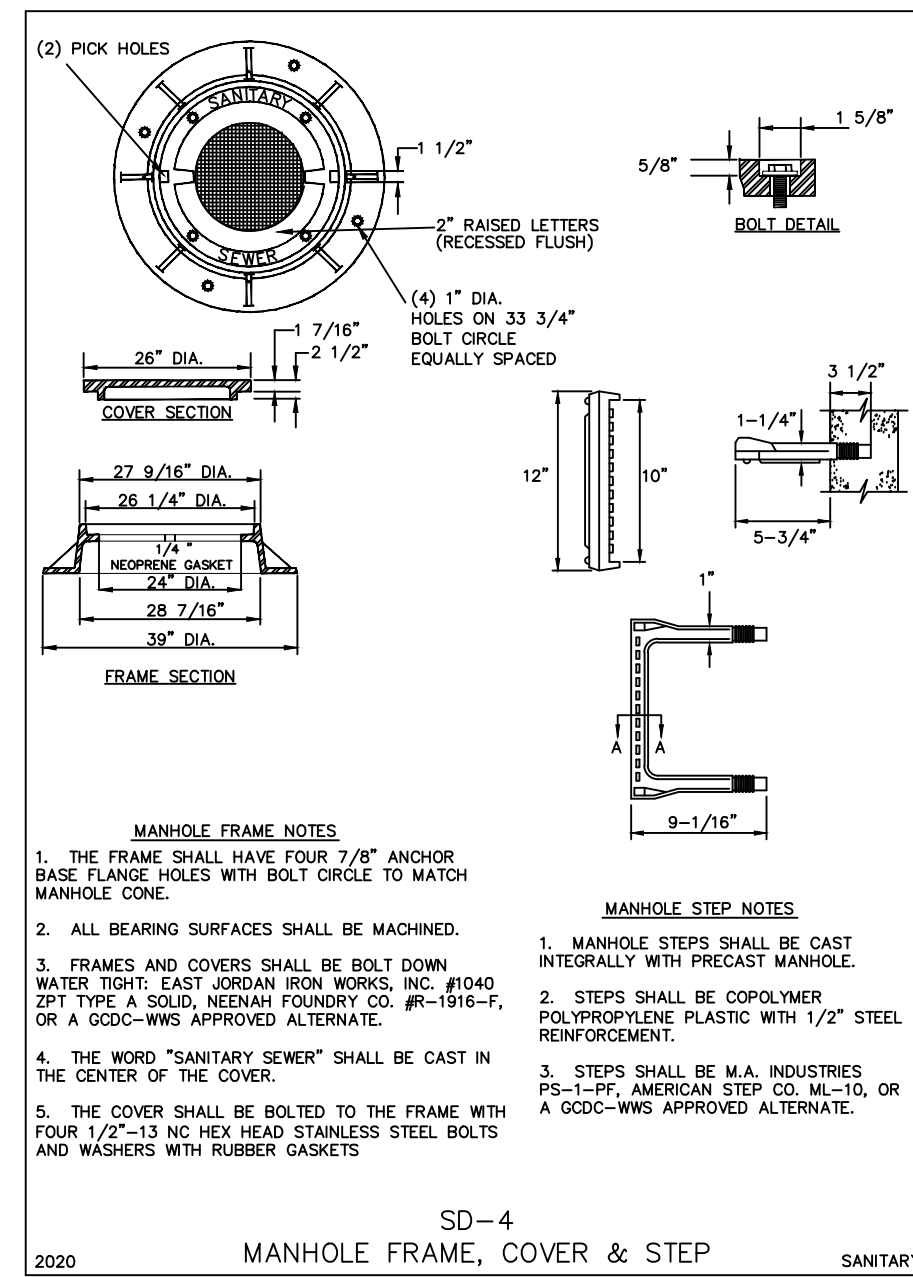
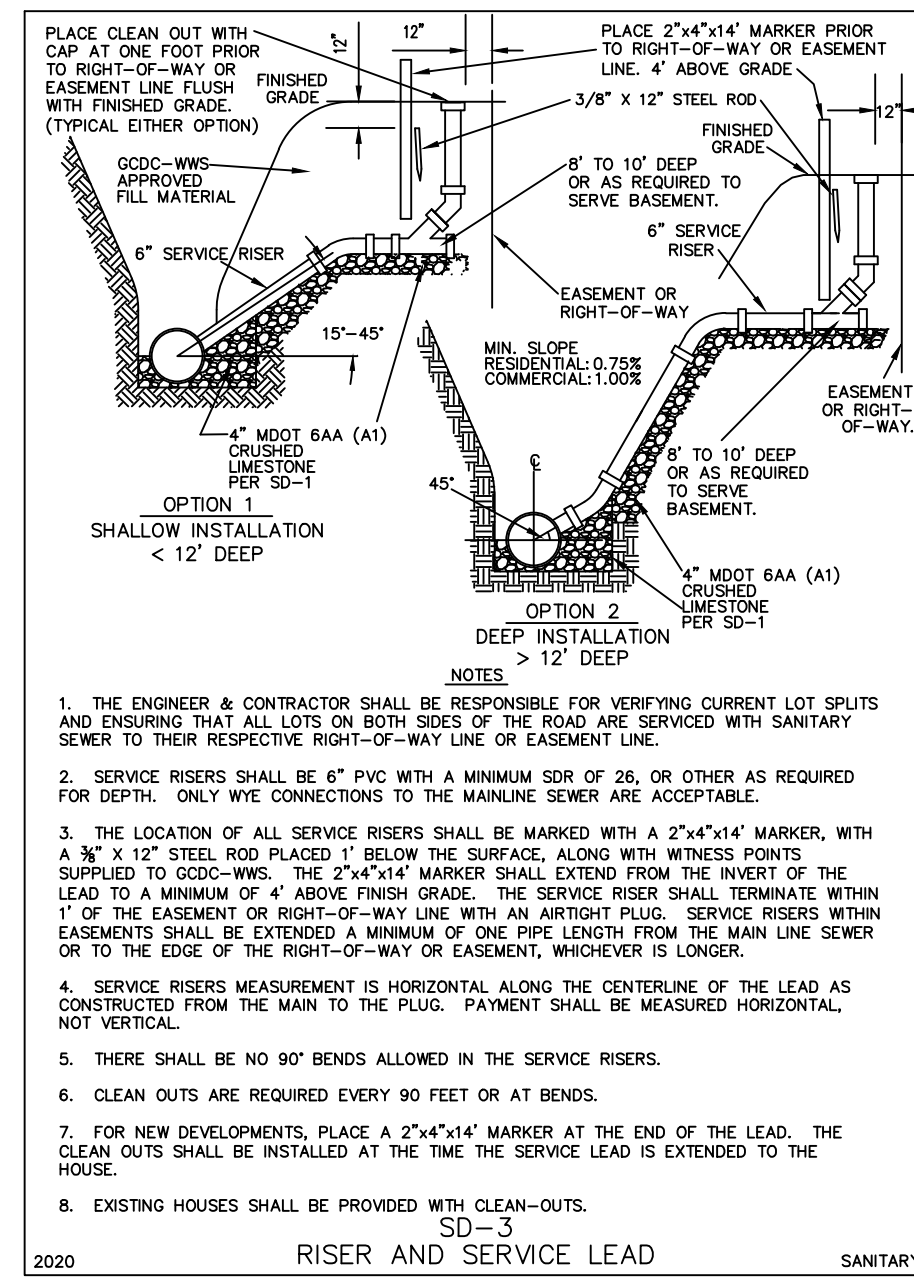
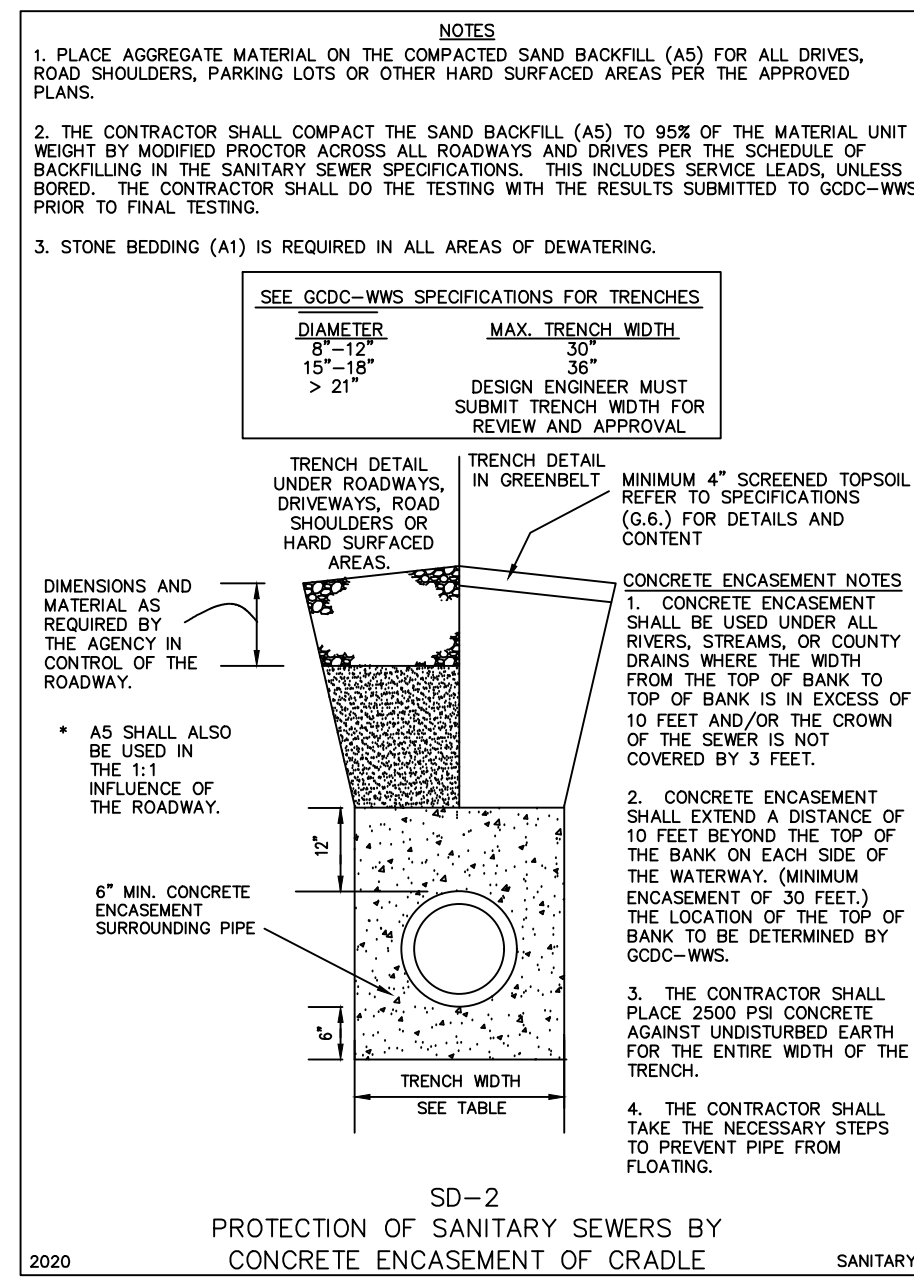
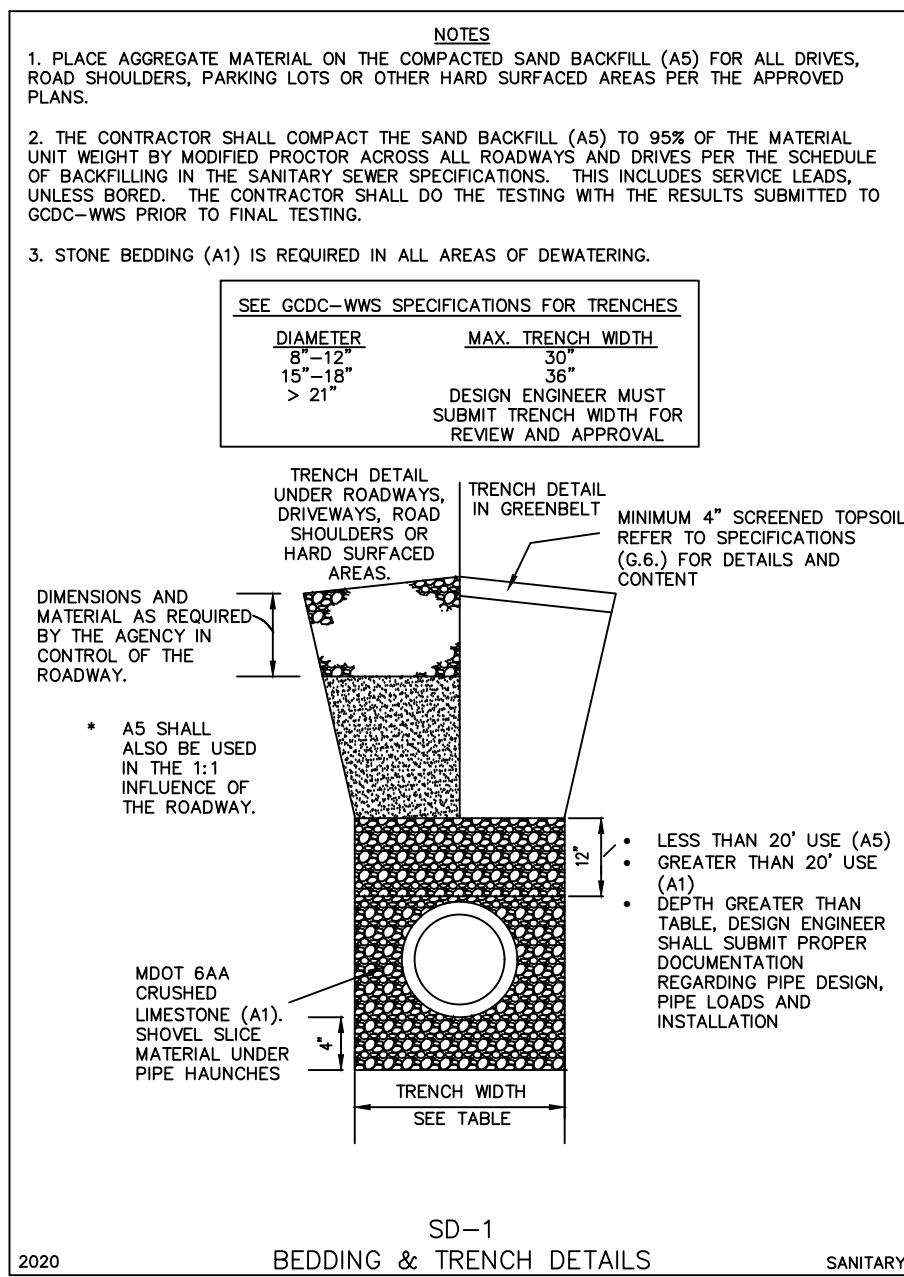
SHEET TITLE:
PRELIMINARY
EXHIBIT B
SITE PLAN

PROJECT:
4344 SILVER LAKE
ROAD
LINDEN, MI 48451
OFFICE: (810) 750-5280
EMAIL: 1996LEPC@GMAIL.COM

LAWRENCE
ENGINEERING P.C.
ENGINEERING

PROJECT:
QUEEN'S MEADOWS
MIKE DE MIL
48991 JEFFERSON
CHESTERFIELD, MI 48047
(586) 980-2079

JOB NO.:	2022-001B
SHEET:	24 OF 27
DATE:	4/3/2023
DRAWN BY:	BLB
CHECKED BY:	MML



GENERAL NOTES FOR SANITARY SEWER CONSTRUCTION

- ALL SANITARY SEWERS SHALL BE TELEVIEWED AND RECORDED WITH REPORTS SUBMITTED TO GDCG-WWS.
- ALL PVC MAINLINE PIPE IS TO BE MANDEILLED BY A 9-SIDED MANDREL MEETING GDCG-WWS SPECIFICATIONS. THE MAXIMUM ALLOWABLE DEFLECTION IS 5%.
- EACH 6" SERVICE CONNECTION SHALL BE STAKED, WITH AN INVERT ELEVATION, BY THE ENGINEER.
- THE REPAIR OF SDR-26 PVC PIPE IS TO BE DONE WITH SDR-26 REPAIR COUPLINGS. FLEXIBLE BOOT CONNECTORS ARE NOT ALLOWED.
- ALL PROJECTS SHALL HAVE A MANDATORY PRE-CONSTRUCTION MEETING WITH GDCG-WWS.



